

(1) {3D}

ABBREVIATIONS

APN	ASSESSOR PARCEL NUMBER	FO	FACE OF WALL
ВО	BOTTOM OF	FNDN	FOUNDATION
CL	CENTER LINE	GYP	GYPSUM WALL BOARD
CLG	CEILING	HVAC	HEATING, VENTILATING, & AIR CONDITIONING
CMU	CONCRETE MASONRY UNIT	INSUL	INSULATED OR INSULATION
COL	COLUMN	INT	INTERIOR
CONC	CONCRETE	MIN	MINIMUM
CPT	CARPET	MTL	METAL
CT	CERAMIC TILE	NO.	NUMBER
DIM	DIMENSION	OC	ON CENTER
DN	DOWN	PLYD	PLYWOOD
DWG	DRAWING	PT	PRESSURE TREATED
EL	ELEVATION	RM	ROOM
EQ	EQUAL	SD	SMOKE DETECTOR
EXT	EXTERIOR	SF	SQUARE FEET
FF	FINISHED FACE	SPEC	SPECIFIED OR SPECIFICATION
FFL	FINISHED FLOOR LEVEL	TO	TOP OF
FIXT	FIXTURE	VIF	VERIFY IN FIELD
FLR	FLOOR	WD	WOOD

GENERAL NOTES

1. THESE PLANS ARE THE PROPERTY OF LUIS CARLOS RAMIREZ SOTO AND ARE NOT TO BE USED FOR ANY	
OTHER WORK OTHER THAN THE LOCATION SHOWN HEREON.	

2. THE GENERAL CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND SITE CONDITIONS PRIOR TO STARTING WORK AND SHALL NOTIFY THE DESIGNER OF ANY DISCREPANCY.

3. NOTES AND DETAILS ON DRAWINGS SHALL TAKE PRECEDENCE OVER THESE GENERAL NOTES.

4. ALL MATERIAL AND WORKMANSHIP SHALL CONFORM TO THE LATEST EDITION OF THE UNIFORM BUILDING CODE. ALL APPLICABLE LOCAL AND STATE CODES, ORDINANCES AND REGULATIONS SHALL BE COMPLIED WITH. IT IS THE RESPONSIBILITY OF ANYONE SUPPLYING LABOR OR MATERIALS OR BOTH TO BRING TO THE ATTENTION OF THE DESIGNER AND THE OWNER ANY DISCREPANCIES OR CONFLICT BETWEEN THE REQUIREMENTS OF THE CODE AND THE DRAWINGS.

5. THE DESIGN, ADEQUACY AND SAFETY OF ERECTION, BRACING, SHORING, TEMPORARY SUPPORTS, ETC., IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR, AND HAS NOT BEEN CONSIDERED BY THE STRUCTURAL ENGINEER. THE GENERAL CONTRACTOR IS RESPONSIBLE FOR THE STABILITY OF THE STRUCTURE PRIOR TO THE APPLICATION OF THE SHEAR WALLS, ROOF AND FLOOR DIAPHRAGMS AND FINISH MATERIALS. HE OR SHE SHALL PROVIDE THE NECESSARY BRACING TO PROVIDE STABILITY PRIOR TO THE APPLICATION OF THE AFOREMENTIONED MATERIALS. OBSERVATION VISITS TO THE SITE BY THE DESIGNER AND STRUCTURAL ENGINEER SHALL NOT INCLUDE INSPECTION OR APPROVAL OF THE ABOVE

6. VIBRATIONAL EFFECTS OF MECHANICAL EQUIPMENT HAVE NOT BEEN CONSIDERED BY THE STRUCTURAL

7. CONCRETE SLAB ON GRADE HAS NOT BEEN DESIGNED BY THE STRUCTURAL ENGINEER UNLESS SPECIFICALLY DETAILED ON THE DRAWINGS.

8. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO LOCATE ALL EXISTING UTILITIES WHETHER

SHOWN HEREON OR NOT AND TO PROTECT THEM FROM DAMAGE 9. THE DESIGNER SHALL BE NOTIFIED IMMEDIATELY BY THE CONTRACTOR SHOULD ANY DISCREPANCY OR

OTHER QUESTION ARISE PERTAINING TO THE WORK DRAWINGS.

10. REFER TO THE STRUCTURAL CALCULATIONS FOR ANY QUESTIONS REGARDING LUMBER GRADES, BEAM AND HEADER SIZES, FOOTINGS AND SHEAR WALL REQUIREMENTS.

11. REFER TO SOILS REPORT FOR ANY QUESTIONS REGARDING SOIL REQUIREMENTS.

12. ON-SITE VERIFICATION OF ALL DIMENSIONS AND CONDITIONS HALL BE THE RESPONSIBILITY OF THE CONTRACTOR AND HIS OR HER SUBCONTRACTORS, NOTED DIMENSIONS TAKE PRECEDENCE OVER SCALED DIMENSIONS.

13. NO FRAMING OF ANY TYPE SHALL BE CONCEALED PRIOR TO INSPECTION BY GOVERNING AGENCIES.

14. GRADING AND DRAINAGE: ALL PAVING, FLAT WORK AND PLANTERS NEXT TO BUILDING SHALL BE

PROPERLY GRADED TO CARRY WATER AWAY FROM BUILDINGS. 15. NO CHANGES ARE TO BE MADE TO THESE PLANS WITHOUT THE KNOWLEDGE OR CONSENT OF THE

DESIGNER/ENGINEER WHOSE SIGNATURE APPEARS HEREON.

16. ALL OF THE A.S.T.M. DESIGNATIONS ARE TO BE OF THE LATEST EDITION.

17. CONTRACTOR SHALL CHECK AND VERIFY SIZE AND LOCATION OF ELECTRICAL SERVICES BEFORE THE

BEGINNING OF CONSTRUCTION. 18. THE CONTRACTOR SHALL BE HELD RESPONSIBLE FOR THE RESULTS OF ERRORS, DISCREPANCIES OR OMISSIONS WHICH THE CONTRACTOR FAILED TO NOTIFY THE DESIGNER OR ENGINEER OF BEFORE

CONSTRUCTION AND/OR FABRICATION OF THE WORK. 19. NO DEVIATIONS FROM THE STRUCTURAL DETAILS SHALL BE MADE WITHOUT THE WRITTEN APPROVAL OF THE STRUCTURAL ENGINEER. APPROVAL BY PROJECT INSPECTOR DOES NOT CONSTITUTE AUTHORITY

TO DEVIATE FROM PLANS OR SPECIFICATIONS. 20. THE CONTRACTOR WARRANTS TO THE OWNER AND DESIGNER THAT HE OR SHE POSSESSES THE PARTICULAR COMPETENCE AND SKILL IN CONSTRUCTION NECESSARY TO BUILD THIS PROJECT WITHOUT FULL ENGINEERING AND ARCHITECTURAL SERVICES AND FOR THE REASON THAT THE CONTRACTOR WISHES TO RELY UPON HIS OR HER OWN COMPETENCE, THE CONTRACTOR OR OWNER HAS RESTRICTED THE DESIGNER'S SCOPE OF PROFESSIONAL SERVICES. THE CONSTRUCTION DOCUMENTS PROVIDED BY THE LIMITED SERVICES SHALL BE TERMED "BUILDERS PLANS" IN RECOGNITION OF THE CONTRACTOR'S SOPHISTICATION. CONSTRUCTION WILL REQUIRE THAT THE CONTRACTOR ADAPT THE "BUILDERS PLANS" TO THE FIELD CONDITIONS ENCOUNTERED, AND MAKE LOGICAL ADJUSTMENTS IN FIT, FORM, DIMENSION, AND QUANTITY THAT ARE TREATED ONLY GENERALLY BY THE "BUILDERS PLANS". IN THE EVENT ADDITIONAL DETAIL OR GUIDANCE IS NEEDED BY THE CONTRACTOR OR OWNER FOR CONSTRUCTION OF ANY ASPECT OF THE PROJECT. HE OR SHE SHALL IMMEDIATELY NOTIFY THE DESIGNER.

21. RELEASE OF THE PLANS CONTEMPLATES FURTHER COOPERATION AMONG THE OWNERS, THEIR CONTRACTOR, AND THE DESIGNER. DESIGN AND CONSTRUCTION ARE COMPLEX, ALTHOUGH THE DESIGNER AND HIS/HER CONSULTANTS HAVE PERFORMED THEIR SERVICES WITH DUE CARE AND DILIGENCE. THEY CANNOT GUARANTEE PERFECTION. COMMUNICATION IS IMPERFECT AND EVERY CONTINGENCY CANNOT BE ANTICIPATED. ANY AMBIGUITY OR DISCREPANCY DISCOVERED BY USE OF THESE PLANS SHALL BE REPORTED IMMEDIATELY TO THE DESIGNER. FAILURE TO NOTIFY THE DESIGNER COMPOUNDS MISUNDERSTANDING AND INCREASE CONSTRUCTION COSTS. A FAILURE TO COOPERATE BY A SIMPLE NOTICE TO THE DESIGNER REGARDING THESE ISSUES SHALL RELIEVER THE DESIGNER FROM RESPONSIBILITY FOR ALL CONSEQUENCES.

22. ALL REQUIRED PERMITS, SEPARATE PERMITS [PLUMBING, ELECTRICAL, ETC.] SHALL BE OBTAINED PRIOR

TO COMMENCING WORK OF THAT TRADE.

23. ADJACENT PROPERTY OWNERS SHALL BE NOTIFIED 30 DAYS PRIOR TO CONSTRUCTION.

	Sheet Index
Sheet	
Number	Sheet Name

MY HOUSE S2.1 **ELEVATION** FRONT/REAR **ELEVATION** LEFT/RIGHT FLOOR PLAN 1ST **FLOOR** FLOOR PLAN 2ND FLOOR **ROOF PLAN** SECTION VIEW NORTH/SOUTH

SECTION VIEW

EAST/WEST

SCHEDULES

DETAILS

PROJECT INFORMATION

LOCATION ADDRESS: 857, MENDOCINO F. CITY, STATE ZIP: ORLAND, CA 95963

APN# 875-0202-0431

HOUSE 1ST FLOOR: 1,980SF HOUSE 2ND FLOOR: 1,320SF GARAGE: 420SF ACCESSORY BUILDING: NONE

TOTAL AREA ALL NEW CONSTRUCTION: 3,500 SF TOTAL HEATED AREA: 3,300 SF

TOTAL LOT AREA: 34885 SF ALLOWABLE BUILD AREA: 13954 SF

CONTACT INFORMATION

OWNER/MANAGER: CYNTHIA ADDRESS: 746 REDWOOD AVE. CITY, STATE ZIP: 94556 PHONE: 707-392-1829

DESIGNER: LUIS RAMIREZ SOTO ADDRESS: 1340 K ST CITY, STATE ZIP: 95229 PHONE: 707-272-2289 E-MAIL: RAMIREZLUIS0202LUISCOCO8574@OUTLOOK.COM

BUILDING CODE SUMMARY

THE PROJECT SHOULD APPLY WITH ALL THE OTHER ORDINCES AND REGULATIONS ADOPTED BY THE STATE GOVERNING AGENCIES

APPLICABLE CODES

2021 CALIFORNIA BUILDING CODE (CBC) 2021 CALIFORNIA MECHANICAL CODE (CMC) 2021 CALIFORNIA PLUMBING CODE (CPC) 2021 CALIFORNIA ELECTRICAL CODÈ (CÉC) 2021 CALIFORNIA ENERGY STANDARDS (CES) 2021 CALIFORNIA FIRE CODE (CFC) 2021 CALIFORNIA RESIDENTIAL CODE (CRC)

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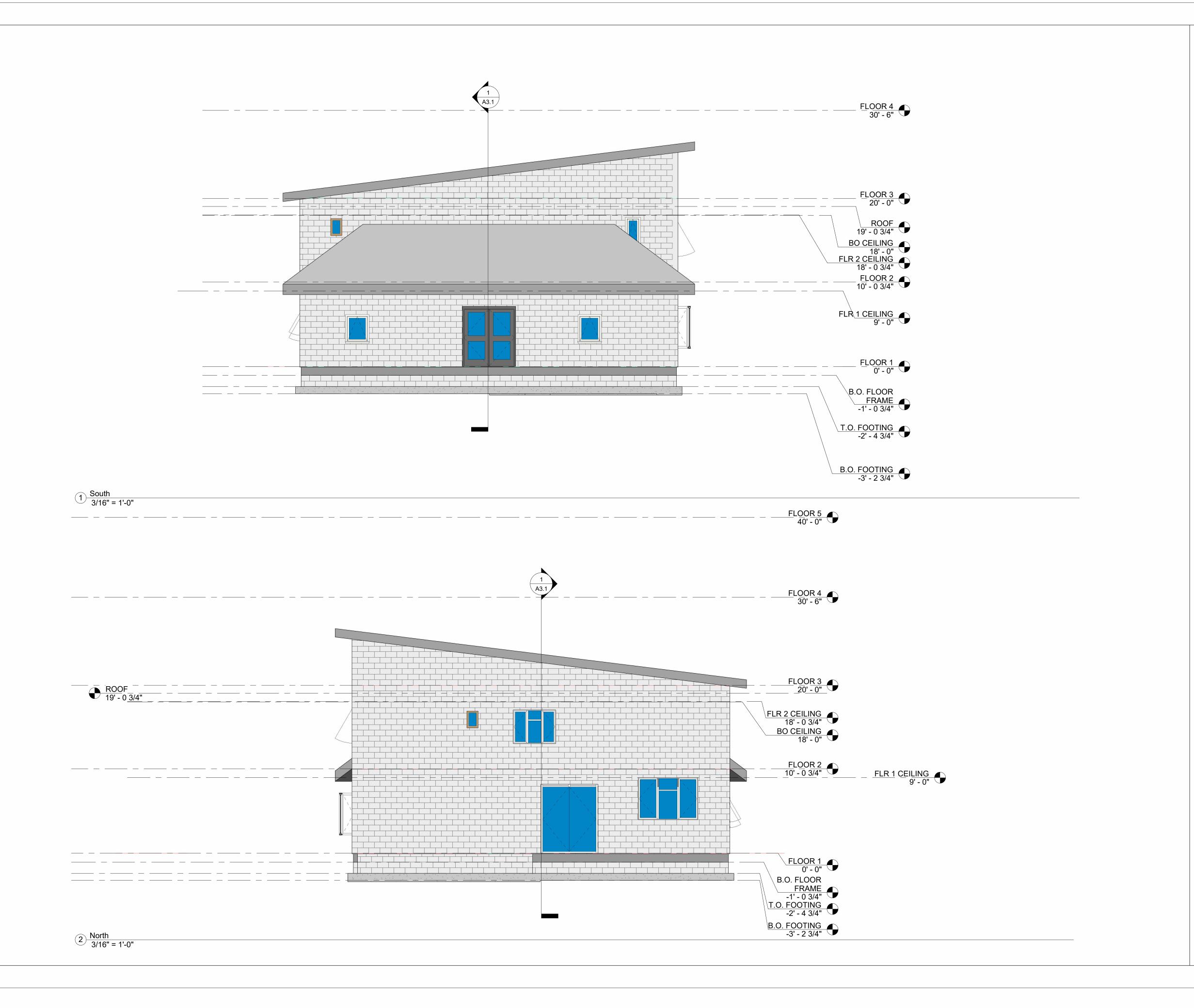
Date

Description

NAPA VALLEY DESIGN RAMIREZ HOME MY HOUSE

2023 - RAMIR Project number 12-12-2023 Drawn by LRAMIREZ **CJOURGENSEN** Checked by

Scale





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Date Description

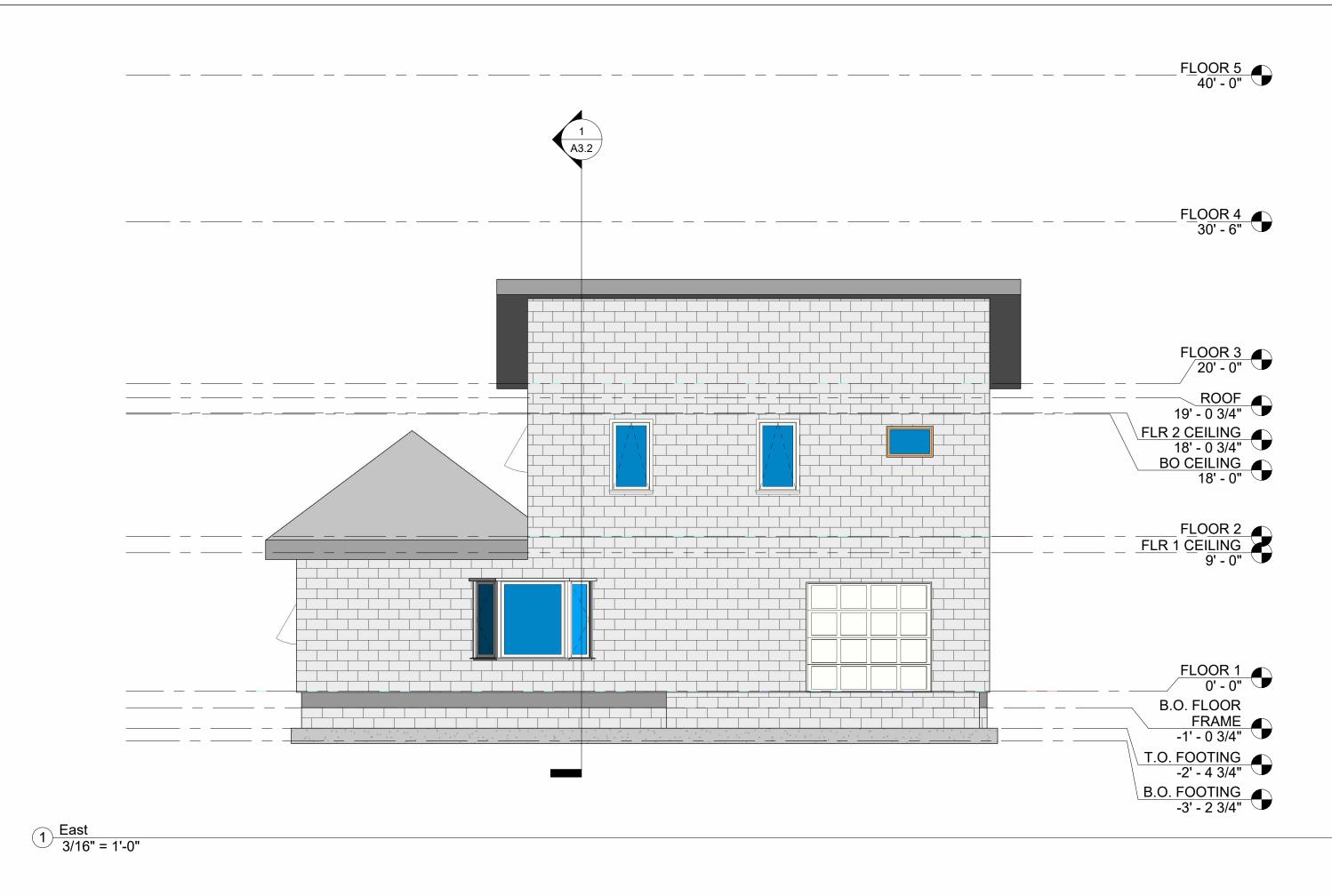
NAPA VALLEY DESIGN RAMIREZ HOME

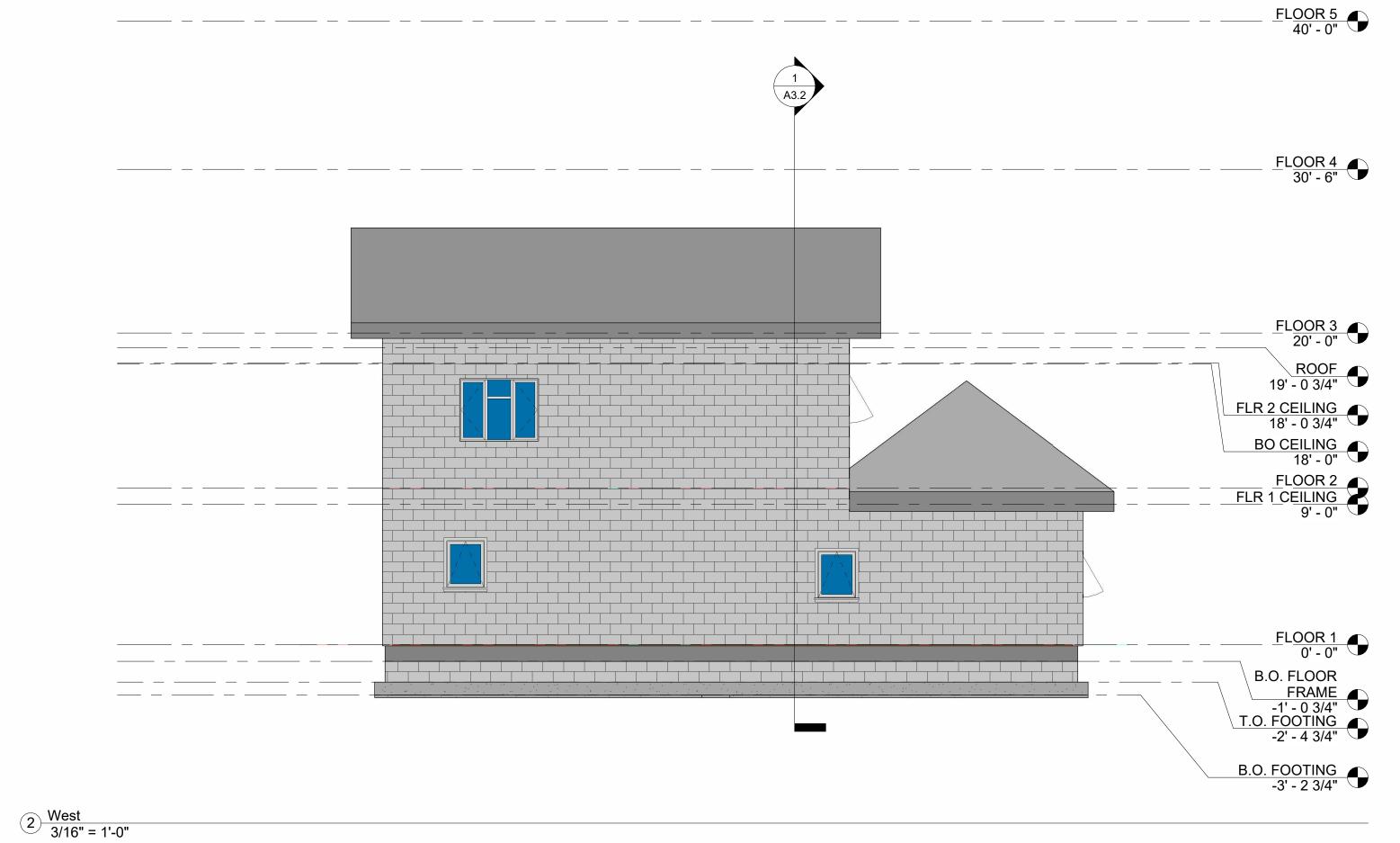
ELEVATION FRONT/REAR
mber 2023 - RAMIR

Project number 12-12-2023 Drawn by CJOURGENSEN

LRAMIREZ

3/16" = 1'-0" Scale







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No.	Description	Date

NAPA VALLEY DESIGN RAMIREZ HOME

ELEVATION LEFT/RIGHT

Project number 2023 - RAMIR

Date 12-12-2023

Drawn by LRAMIREZ

Checked by CJOURGENSEN

S2.

Scale 3/16" = 1'-0"

3 Z N

General Floor Plan Notes

General Floor Plan Notes

NUMERICAL DIMENSIONS SHALL TAKE PRECEDENCE OVER SCALED DIMENSIONS

REFER TO STRUCTURAL, MECHANICAL, ELECTRICAL, PLUMBING, AND OTHER CATEGORIES OF DRAWINGS FOR ADDITIONAL NOTES.

SEE DRAWING A0.1 FOR TYPICAL GRAPHIC SYMBOLS.

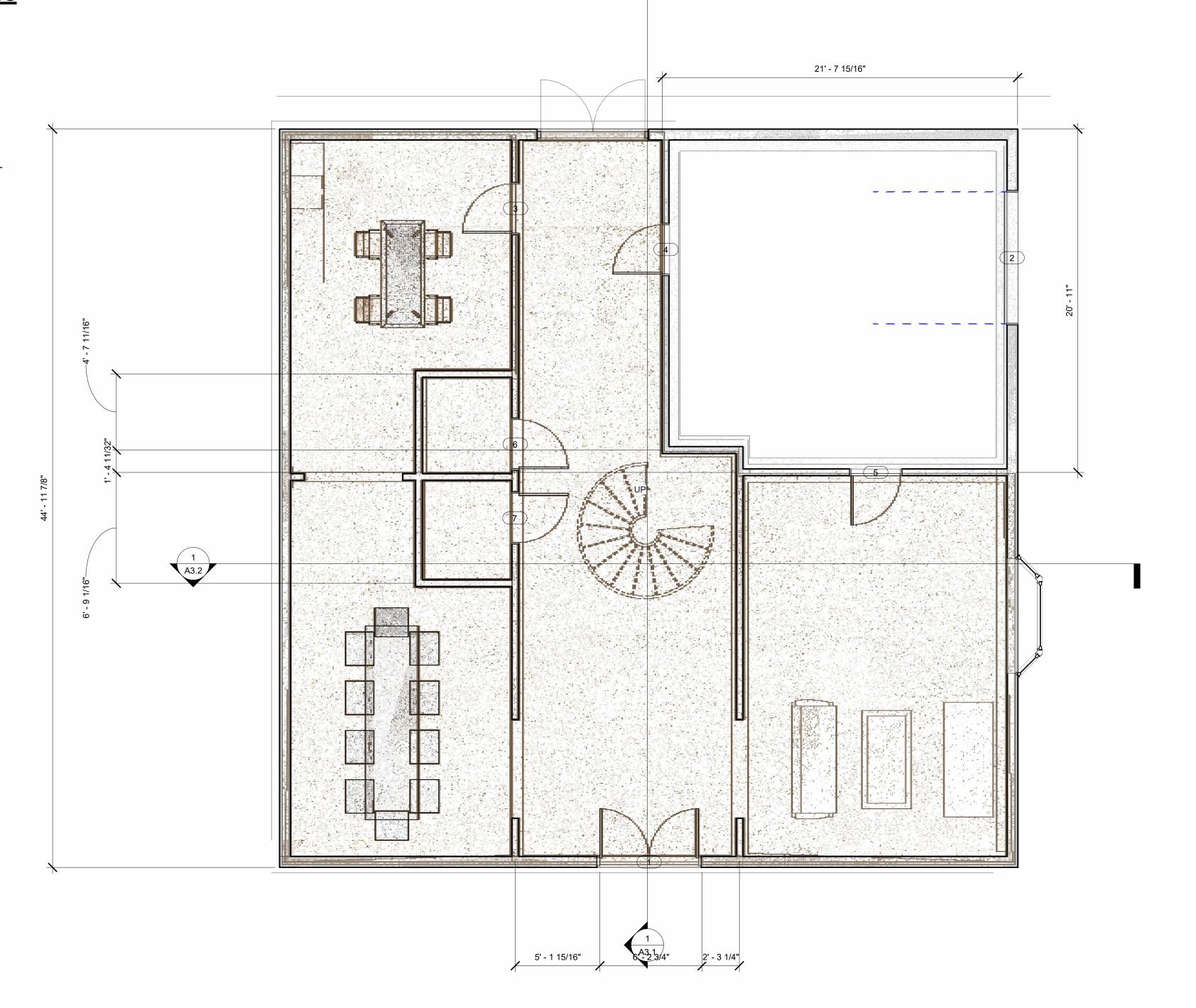
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REFER TO THIS PLAN FOR DOOR AND WINDOW MARKERS.

ALL WALLS TO BE 6" WIDE.

ALL WALLS ASSUME 90° UNLESS OTHERWISE NOTED.

FINAL FINISHES FOR FLOOR, TILE, COUNTERTOP, PAINT COLOR, TO BE DETERMINED BY OWNER PRIOR TO COMPLETION.



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No.	Description	Date

NAPA VALLEY DESIGN
RAMIREZ HOME
FLOOR PLAN 1ST

FLOOR oject number

2023 - RAMIR
12-12-2023
n by LRAMIREZ
ked by CJOURGENSEN

A1.1

1/4" = 1'-0"

1 FLOOR 1 1/4" = 1'-0"

General Floor Plan Notes

General Floor Plan Notes

NUMERICAL DIMENSIONS SHALL TAKE PRECEDENCE OVER SCALED DIMENSIONS

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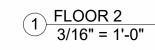
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No.	Description	Date

NAPA VALLEY DESIGN
RAMIREZ HOME
FLOOR PLAN 2ND
FLOOR

Project number 2023 - RAMIR

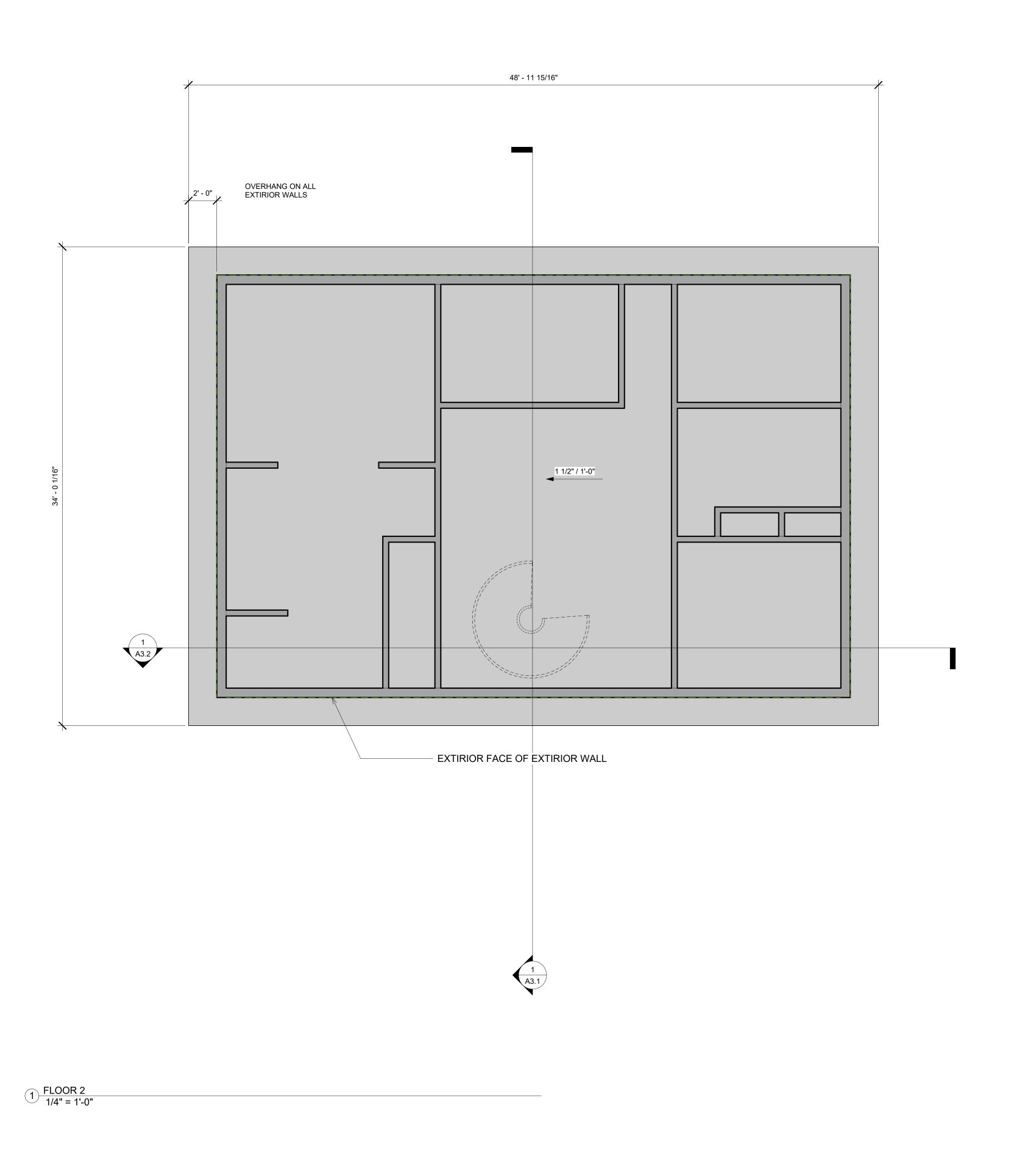
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A1.2

cale 3/16" = 1'-0"





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No. Description Date

NAPA VALLEY DESIGN RAMIREZ HOME ROOF PLAN

 Project number
 2023 - RAMIR

 Date
 12-12-2023

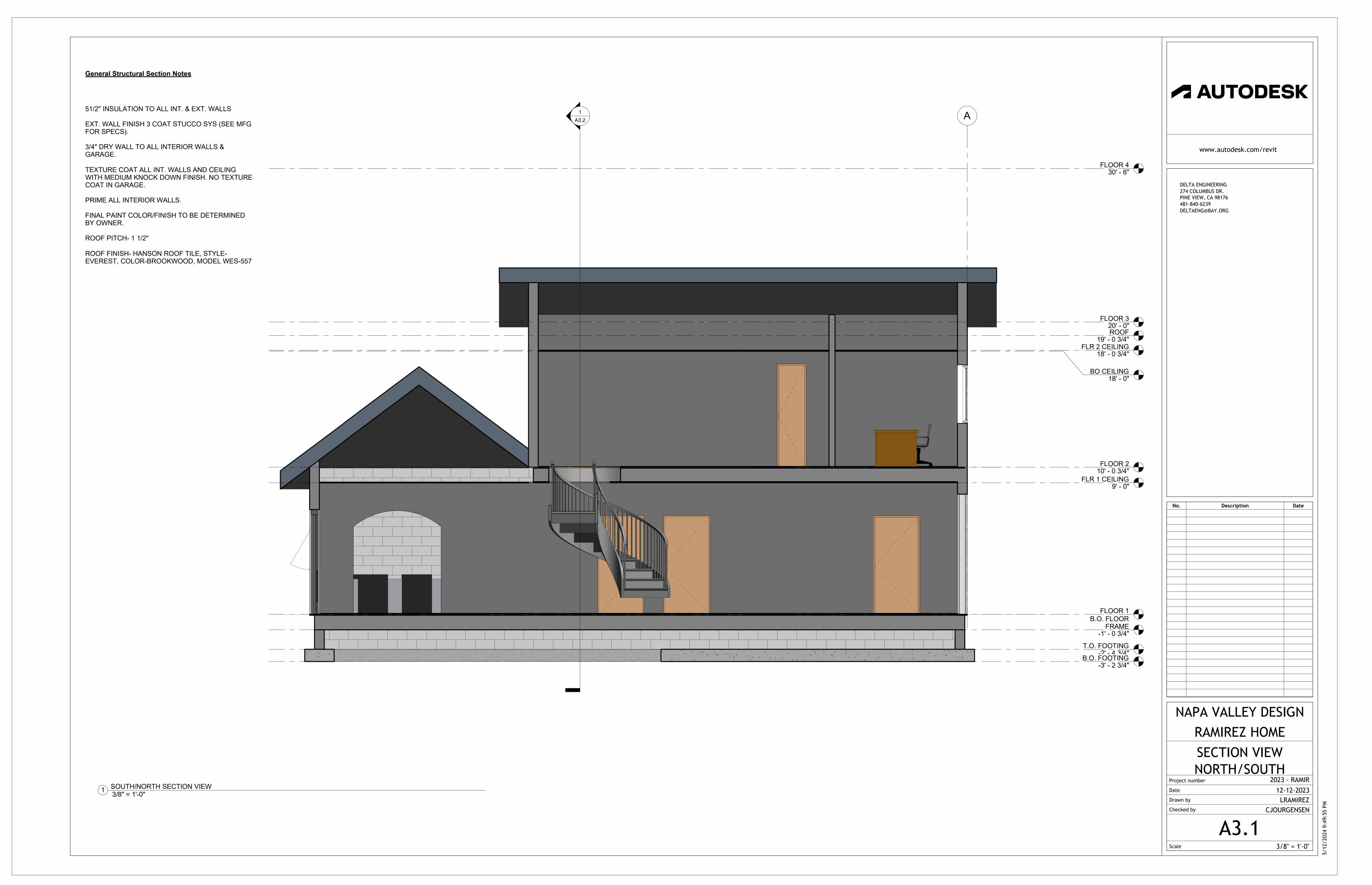
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A1.3

Scale

1/4" = 1'-0"

E/42/2024 0:40:E4 DM



General Structural Section Notes

51/2" INSULATION TO ALL INT. & EXT. WALLS

EXT. WALL FINISH 3 COAT STUCCO SYS (SEE MFG FOR SPECS).

3/4" DRY WALL TO ALL INTERIOR WALLS & GARAGE.

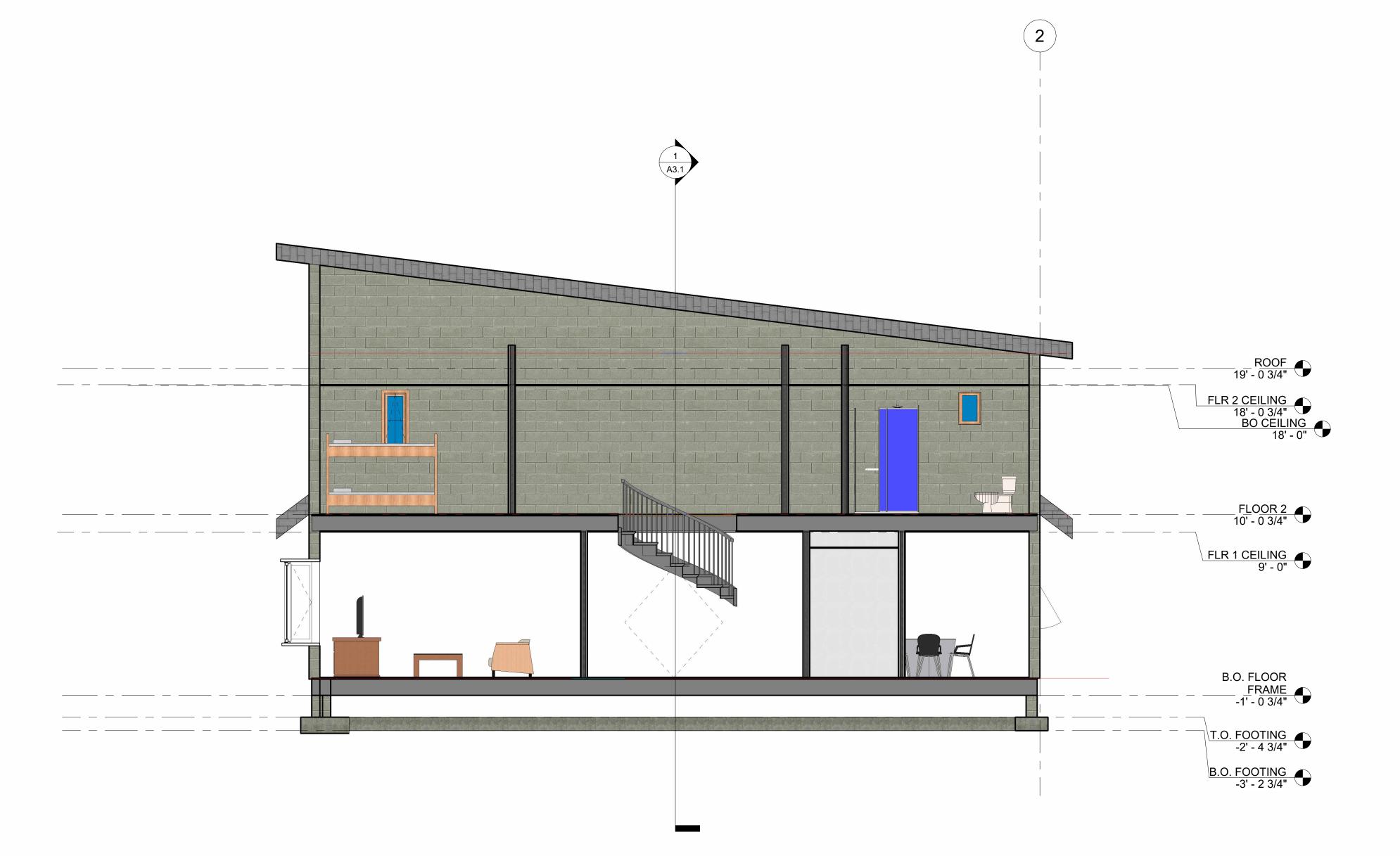
TEXTURE COAT ALL INT. WALLS AND CEILING WITH MEDIUM KNOCK DOWN FINISH. NO TEXTURE COAT IN GARAGE.

PRIME ALL INTERIOR WALLS.

FINAL PAINT COLOR/FINISH TO BE DETERMINED BY OWNER.

ROOF PITCH- 1 1/2"

ROOF FINISH- HANSON ROOF TILE, STYLE-EVEREST, COLOR-BROOKWOOD, MODEL WES-557



1 EAST/WEST SECTION VIEW 1/4" = 1'-0"

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lo. Description Date

NAPA VALLEY DESIGN RAMIREZ HOME SECTION VIEW

EAST/WEST

Project number 2023 - RAMIR

Date 12-12-2023

Drawn by LRAMIREZ

Checked by CJOURGENSEN

A3.2

Scale

1/4" = 1'-0"

