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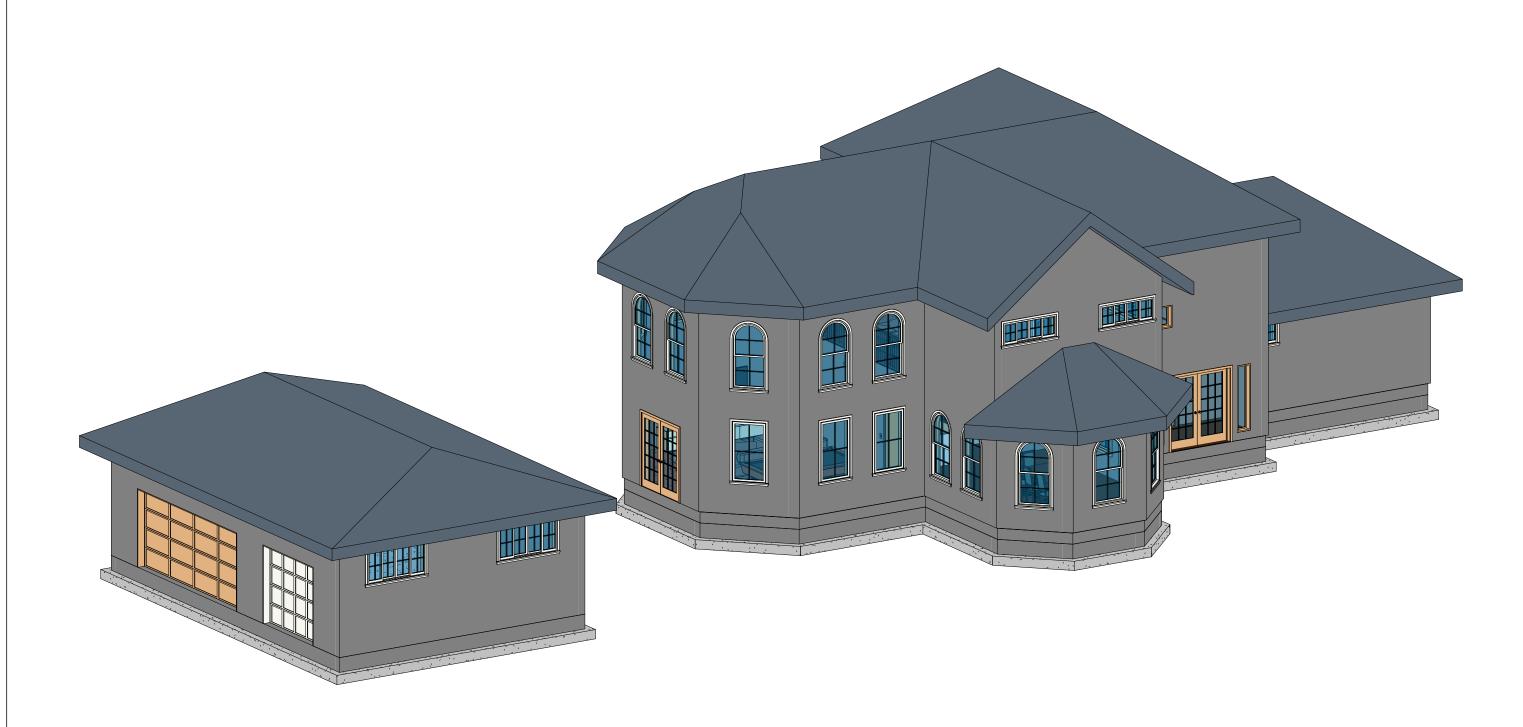
PROJECT INFORMATION

LOCATION ADDRESS: 123 STREET LANE CITY, STATE ZIP: NAPA, CA 94558

APN# 123-456-789-123

HOUSE 1ST FLOOR: 2182 SF HOUSE 2ND FLOOR: 1142 SF GARAGE: 850 SF ACCESSORY BUILDING: GARAGE TOTAL AREA ALL NEW CONSTRUCTION: 4175 SF TOTAL HEATED AREA: 3324 SF

TOTAL LOT AREA: 5000 SF ALLOWABLE BUILD AREA: 5000 SF



(1) 3D VIEW

ABBREVIATIONS

APN BO	ASSESSOR PARCEL NUMBER BOTTOM OF	FO FNDN
CL	CENTER LINE	GYP
CLG	CEILING	HVAC
CMU	CONCRETE MASONRY UNIT	INSUL
COL	COLUMN	INT
CONC	CONCRETE	MIN
CPT	CARPET	MTL
СТ	CERAMIC TILE	NO.
DIM	DIMENSION	OC
DN	DOWN	PLYD
DWG	DRAWING	PT
EL	ELEVATION	RM
EQ	EQUAL	SD
EXT	EXTERIOR	SF
FF	FINISHED FACE	SPEC
FFL	FINISHED FLOOR LEVEL	ТО
FIXT	FIXTURE	VIF
FLR	FLOOR	WD

CONTACT INFORMATION

OWNER/MANAGER: S. ZEPEDA ADDRESS: 321 AVENUE ROAD CITY, STATE ZIP: NAPA, CA 94558 PHONE: (707) 123-4567

DESIGNER: S. ZEPEDA ADDRESS: 213 ROAD BOULEVARD CITY, STATE ZIP: NAPA, CA 94558 PHONE: (707) 987-6543 E-MAIL: SZEPEDA@EMAIL.COM

BUILDING CODE SUMMARY

THE PROJECT SHOULD APPLY WITH ALL THE OTHER ORDINCES AND REGULATIONS ADOPTED BY THE STATE GOVERNING AGENCIES

APPLICABLE CODES

- 2021 CALIFORNIA BUILDING CODE (CBC) 2021 CALIFORNIA MECHANICAL CODE (CMC)
- 2021 CALIFORNIA PLUMBING CODE (CPC)
- 2021 CALIFORNIA ELECTRICAL CODE (CEC)
- 2021 CALIFORNIA ENERGY STANDARDS (CES) 2021 CALIFORNIA FIRE CODE (CFC)
- 2021 CALIFORNIA RESIDENTIAL CODE (CRC)

FACE OF WALL FOUNDATION GYPSUM WALL BOARD HEATING, VENTILATING, & AIR CONDITIONING INSULATED OR INSULATION INTERIOR MINIMUM METAL NUMBER ON CENTER PLYWOOD PRESSURE TREATED ROOM SMOKE DETECTOR SQUARE FEET SPECIFIED OR SPECIFICATION TOP OF VERIFY IN FIELD WOOD

GENERAL NOTES

1. THESE PLANS ARE THE PROPERTY OF SEBASTIAN ZEPEDA OTHER WORK OTHER THAN THE LOCATION SHOWN HEREON

2. THE GENERAL CONTRACTOR SHALL VERIFY ALL DIMENSIO AND SHALL NOTIFY THE DESIGNER OF ANY DISCREPANCY.

3. NOTES AND DETAILS ON DRAWINGS SHALL TAKE PRECEDE

4. ALL MATERIAL AND WORKMANSHIP SHALL CONFORM TO T ALL APPLICABLE LOCAL AND STATE CODES, ORDINANCES AN THE RESPONSIBILITY OF ANYONE SUPPLYING LABOR OR MA THE DESIGNER AND THE OWNER ANY DISCREPANCIES OR CO CODE AND THE DRAWINGS.

5. THE DESIGN, ADEQUACY AND SAFETY OF ERECTION, BRAC SOLE RESPONSIBILITY OF THE CONTRACTOR, AND HAS NOT ENGINEER. THE GENERAL CONTRACTOR IS RESPONSIBLE FO THE APPLICATION OF THE SHEAR WALLS, ROOF AND FLOOR SHALL PROVIDE THE NECESSARY BRACING TO PROVIDE STA AFOREMENTIONED MATERIALS. OBSERVATION VISITS TO THE ENGINEER SHALL NOT INCLUDE INSPECTION OR APPROVAL

6. VIBRATIONAL EFFECTS OF MECHANICAL EQUIPMENT HAVE ENGINEER.

7. CONCRETE SLAB ON GRADE HAS NOT BEEN DESIGNED BY DETAILED ON THE DRAWINGS.

8. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR T HEREON OR NOT AND TO PROTECT THEM FROM DAMAGE.

9. THE DESIGNER SHALL BE NOTIFIED IMMEDIATELY BY THE QUESTION ARISE PERTAINING TO THE WORK DRAWINGS.

10. REFER TO THE STRUCTURAL CALCULATIONS FOR ANY QU HEADER SIZES, FOOTINGS AND SHEAR WALL REQUIREMENTS

11. REFER TO SOILS REPORT FOR ANY QUESTIONS REGARDI

12. ON-SITE VERIFICATION OF ALL DIMENSIONS AND CONDITI CONTRACTOR AND HIS OR HER SUBCONTRACTORS, NOTED I DIMENSIONS.

13. NO FRAMING OF ANY TYPE SHALL BE CONCEALED PRIOR

14. GRADING AND DRAINAGE: ALL PAVING, FLAT WORK AND F GRADED TO CARRY WATER AWAY FROM BUILDINGS.

15. NO CHANGES ARE TO BE MADE TO THESE PLANS WITHOU DESIGNER/ENGINEER WHOSE SIGNATURE APPEARS HEREON

16. ALL OF THE A.S.T.M. DESIGNATIONS ARE TO BE OF THE LA

17. CONTRACTOR SHALL CHECK AND VERIFY SIZE AND LOCA **BEGINNING OF CONSTRUCTION.**

18. THE CONTRACTOR SHALL BE HELD RESPONSIBLE FOR TH OMISSIONS WHICH THE CONTRACTOR FAILED TO NOTIFY TH CONSTRUCTION AND/OR FABRICATION OF THE WORK.

19.

20. NO DEVIATIONS FROM THE STRUCTURAL DETAILS SHALL STRUCTURAL ENGINEER. APPROVAL BY PROJECT INSPECTO FROM PLANS OR SPECIFICATIONS.

21. THE CONTRACTOR WARRANTS TO THE OWNER AND DESI COMPETENCE AND SKILL IN CONSTRUCTION NECESSARY TO AND ARCHITECTURAL SERVICES AND FOR THE REASON THAT HER OWN COMPETENCE, THE CONTRACTOR OR OWNER HAS PROFESSIONAL SERVICES. THE CONSTRUCTION DOCUMENT TERMED "BUILDERS PLANS" IN RECOGNITION OF THE CONTR REQUIRE THAT THE CONTRACTOR ADAPT THE "BUILDERS PL AND MAKE LOGICAL ADJUSTMENTS IN FIT, FORM, DIMENSION GENERALLY BY THE "BUILDERS PLANS". IN THE EVENT ADDIT CONTRACTOR OR OWNER FOR CONSTRUCTION OF ANY ASPI IMMEDIATELY NOTIFY THE DESIGNER.

22. RELEASE OF THE PLANS CONTEMPLATES FURTHER COOF AND THE DESIGNER. DESIGN AND CONSTRUCTION ARE COM CONSULTANTS HAVE PERFORMED THEIR SERVICES WITH DU **GUARANTEE PERFECTION. COMMUNICATION IS IMPERFECT** ANTICIPATED. ANY AMBIGUITY OR DISCREPANCY DISCOVERE IMMEDIATELY TO THE DESIGNER. FAILURE TO NOTIFY THE DI INCREASE CONSTRUCTION COSTS. A FAILURE TO COOPERAT REGARDING THESE ISSUES SHALL RELIEVER THE DESIGNER

23. ALL REQUIRED PERMITS, SEPARATE PERMITS [PLUMBING COMMENCING WORK OF THAT TRADE.

24. ADJACENT PROPERTY OWNERS SHALL BE NOTIFIED 30 D/

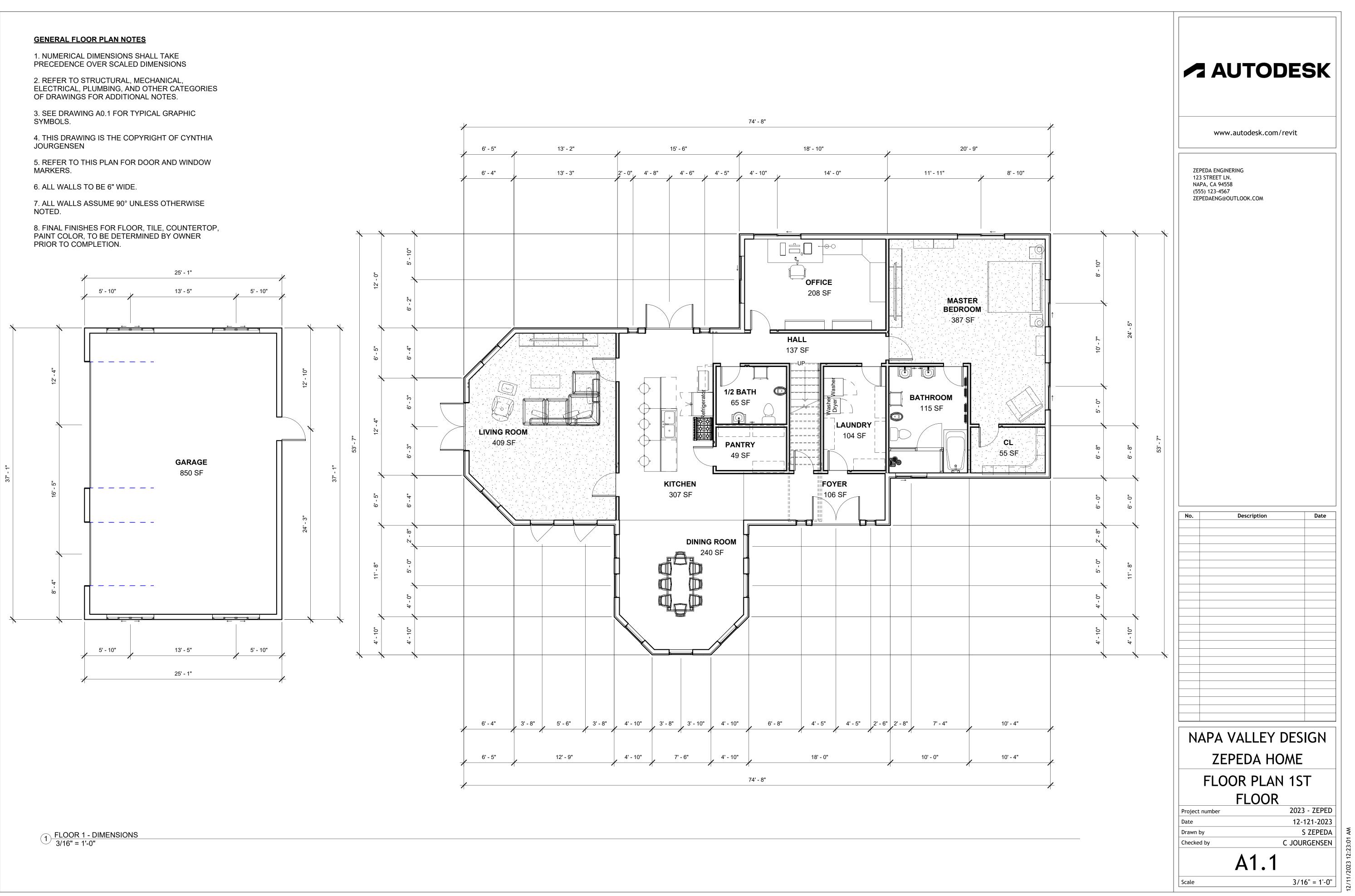
A AND ARE NOT TO BE USED FOR ANY	
INS AND SITE CONDITIONS PRIOR TO STARTING WORK	
ENCE OVER THESE GENERAL NOTES.	
HE LATEST EDITION OF THE UNIFORM BUILDING CODE. ND REGULATIONS SHALL BE COMPLIED WITH. IT IS TERIALS OR BOTH TO BRING TO THE ATTENTION OF ONFLICT BETWEEN THE REQUIREMENTS OF THE	www.autodesk.com/revit
CING, SHORING, TEMPORARY SUPPORTS, ETC., IS THE BEEN CONSIDERED BY THE STRUCTURAL OR THE STABILITY OF THE STRUCTURE PRIOR TO DIAPHRAGMS AND FINISH MATERIALS. HE OR SHE ABILITY PRIOR TO THE APPLICATION OF THE E SITE BY THE DESIGNER AND STRUCTURAL OF THE ABOVE ITEMS.	ZEPEDA ENGINERING 123 STREET LN. NAPA, CA 94558 (555) 123-4567 ZEPEDAENG@OUTLOOK.COM
E NOT BEEN CONSIDERED BY THE STRUCTURAL	
THE STRUCTURAL ENGINEER UNLESS SPECIFICALLY	
O LOCATE ALL EXISTING UTILITIES WHETHER SHOWN	
CONTRACTOR SHOULD ANY DISCREPANCY OR OTHER	
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ING SOIL REQUIREMENTS.	
IONS HALL BE THE RESPONSIBILITY OF THE DIMENSIONS TAKE PRECEDENCE OVER SCALED	
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PLANTERS NEXT TO BUILDING SHALL BE PROPERLY	
JT THE KNOWLEDGE OR CONSENT OF THE N.	
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TION OF ELECTRICAL SERVICES BEFORE THE	
HE RESULTS OF ERRORS, DISCREPANCIES OR E DESIGNER OR ENGINEER OF BEFORE	No. Description Date
BE MADE WITHOUT THE WRITTEN APPROVAL OF THE OR DOES NOT CONSTITUTE AUTHORITY TO DEVIATE	
IGNER THAT HE OR SHE POSSESSES THE PARTICULAR D BUILD THIS PROJECT WITHOUT FULL ENGINEERING T THE CONTRACTOR WISHES TO RELY UPON HIS OR S RESTRICTED THE DESIGNER'S SCOPE OF TS PROVIDED BY THE LIMITED SERVICES SHALL BE RACTOR'S SOPHISTICATION. CONSTRUCTION WILL LANS" TO THE FIELD CONDITIONS ENCOUNTERED, N, AND QUANTITY THAT ARE TREATED ONLY FIONAL DETAIL OR GUIDANCE IS NEEDED BY THE ECT OF THE PROJECT, HE OR SHE SHALL	
PERATION AMONG THE OWNERS, THEIR CONTRACTOR, PLEX, ALTHOUGH THE DESIGNER AND HIS/HER JE CARE AND DILIGENCE, THEY CANNOT AND EVERY CONTINGENCY CANNOT BE ED BY USE OF THESE PLANS SHALL BE REPORTED	
ESIGNER COMPOUNDS MISUNDERSTANDING AND TE BY A SIMPLE NOTICE TO THE DESIGNER & FROM RESPONSIBILITY FOR ALL CONSEQUENCES.	NAPA VALLEY DESIGN
6, ELECTRICAL, ETC.] SHALL BE OBTAINED PRIOR TO	ZEPEDA HOME
	TITLE PAGE
AYS PRIOR TO CONSTRUCTION.	Project number 2023 - ZEPED
	Project number 2023 - ZEPED Date 12-121-2023
	Drawn by S ZEPEDA Checked by C JOURGENSEN
	A0.1
	Scale

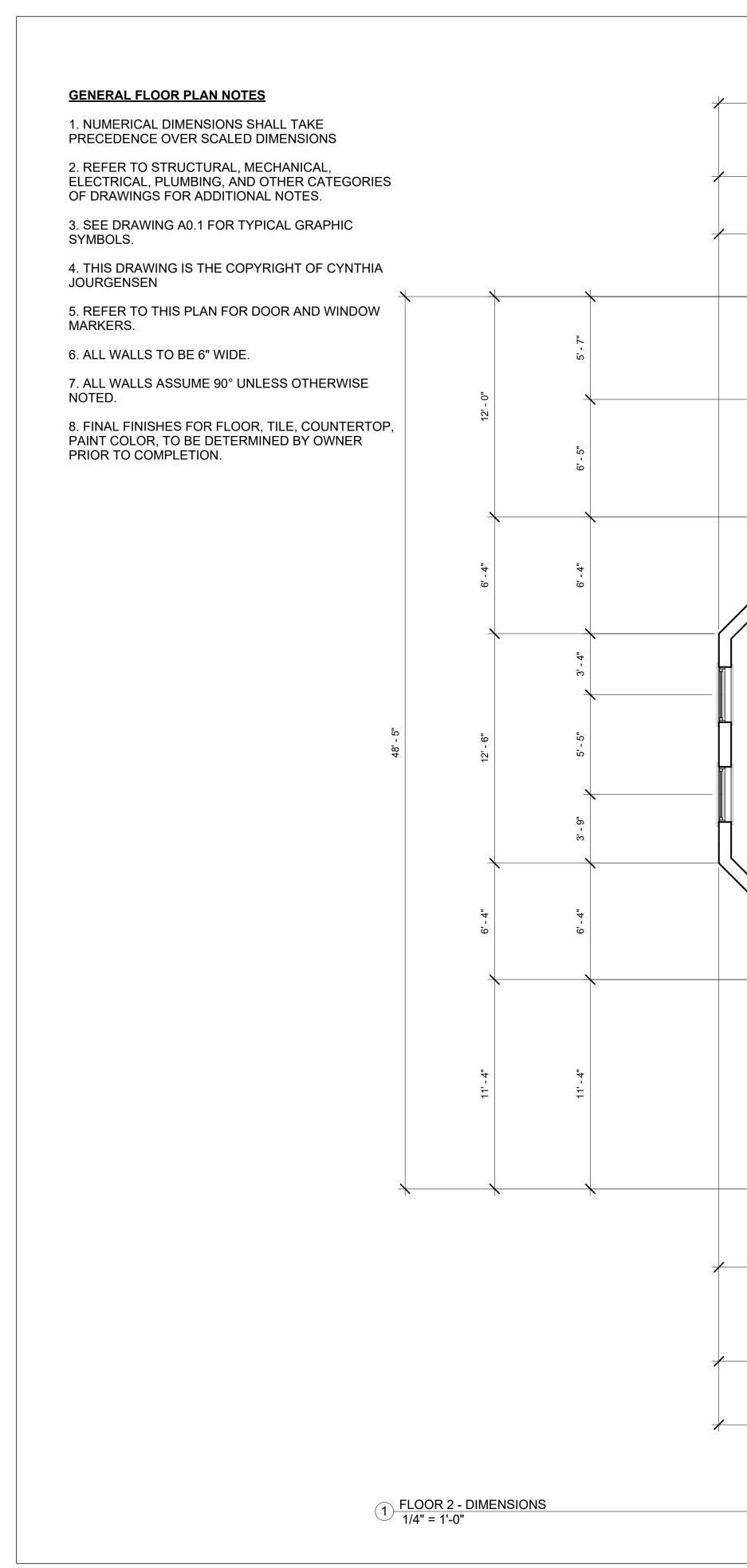




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12: NA (55	PEDA ENGINERING 3 STREET LN. PA, CA 94558 i5) 123-4567 PEDAENG@OUTLOOK.COM	
No.	 Description Date	
N	APA VALLEY DESIGN	
	ZEPEDA HOME ELEVATION	
	EAST/WEST	
Date Drawn I		
Checke	d by C JOURGENSEN	
Scale	3/16" = 1'-0"	







19' - 6" 15' - 7" 19' - 3" 10' - 0" 12' - 10" 4' - 1" 4' - 1" 7' - 4" 4' - 2" 6' - 5" 5' - 6" 9' - 10" , 8' - 0" BEDROOM 248 SF CL -30-SF-LOFT 487 SF CL -OPEN TO BELOW 21 SF BEDROOM 205 SF ____DN------DN-BATHROOM 151 SF 3' - 7" 3' - 7" 6' - 4" 3' - 8" 5' - 6" 3' - 8" 10' - 0" 9' - 3" 8' - 9"

54' - 3"

54' - 3"

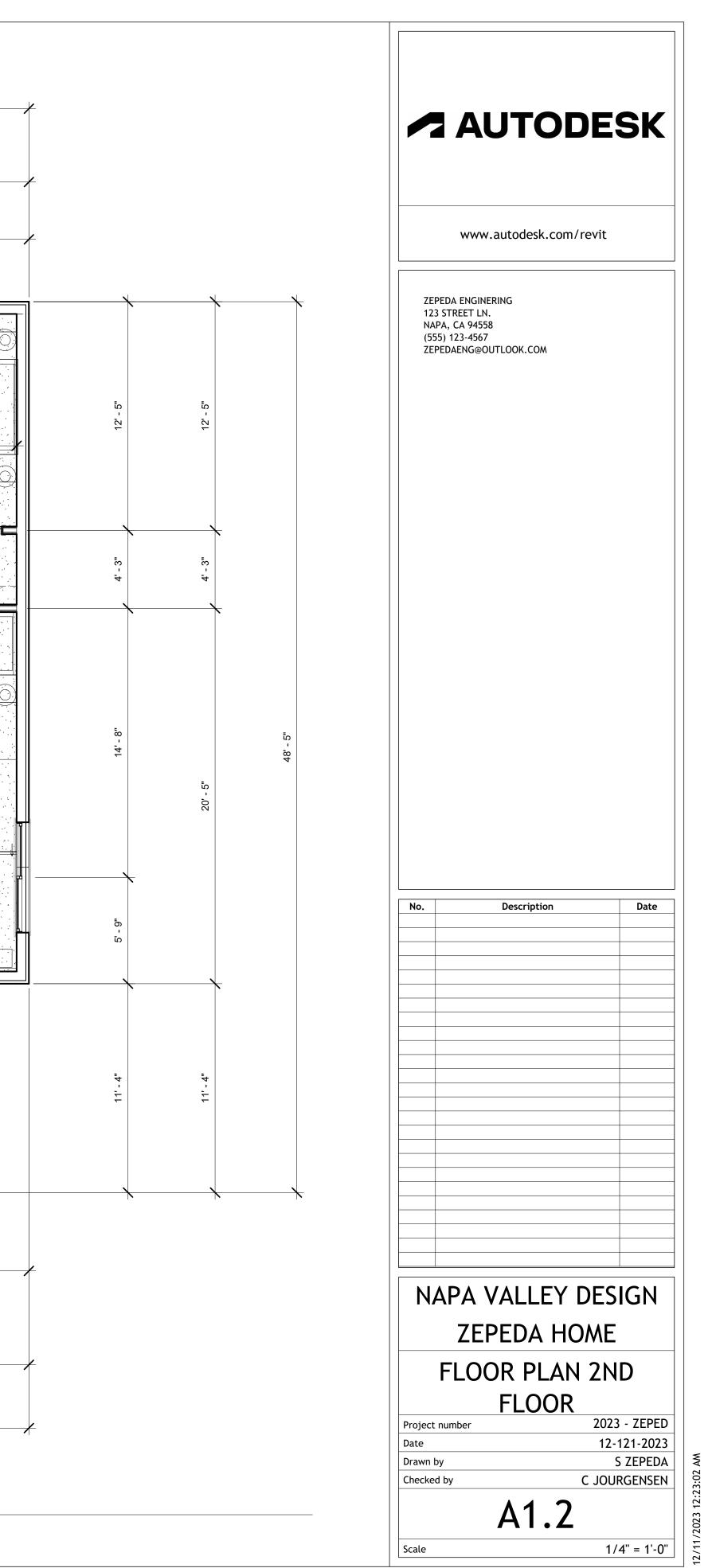
17' - 2"

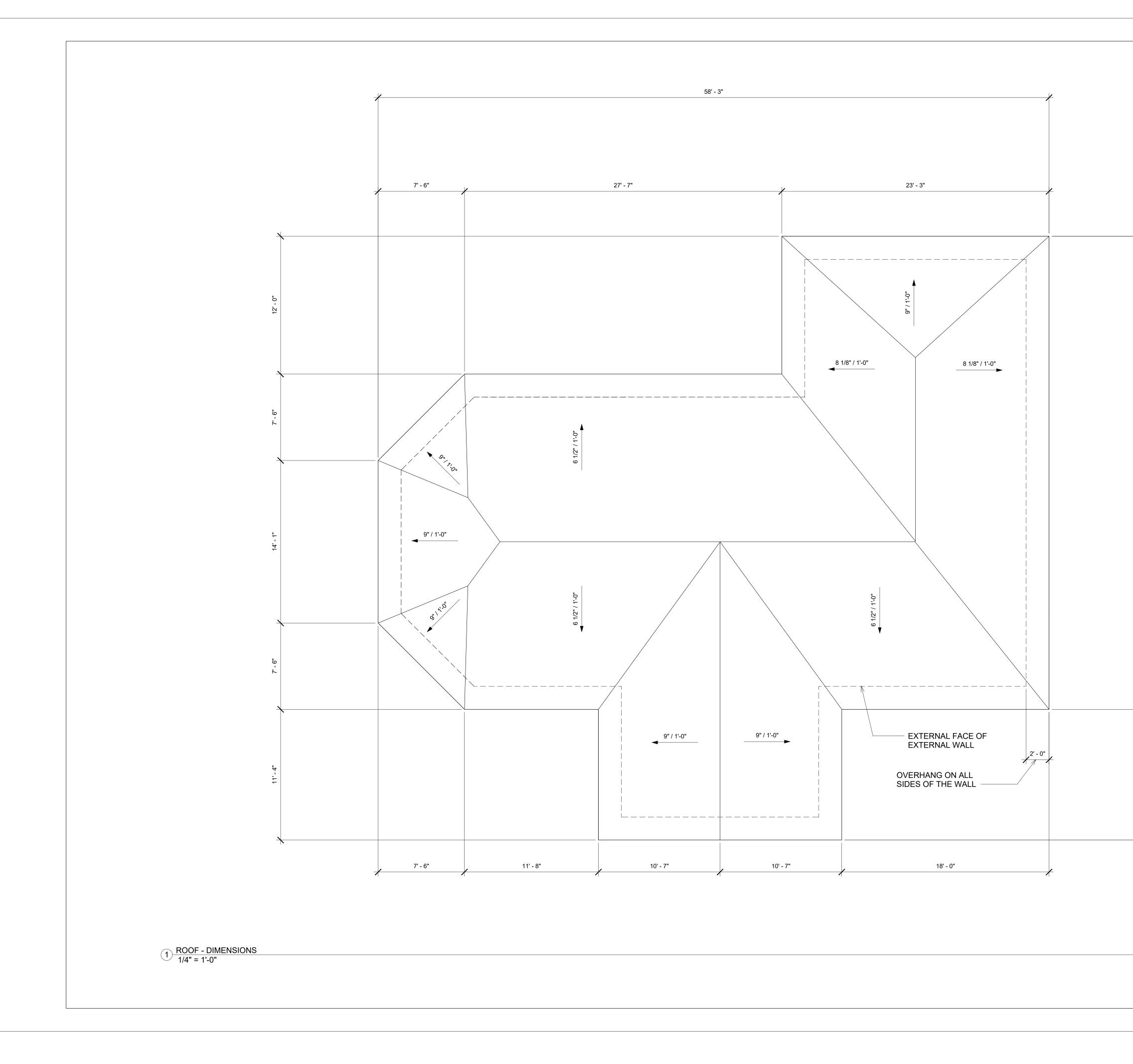
9' - 4"

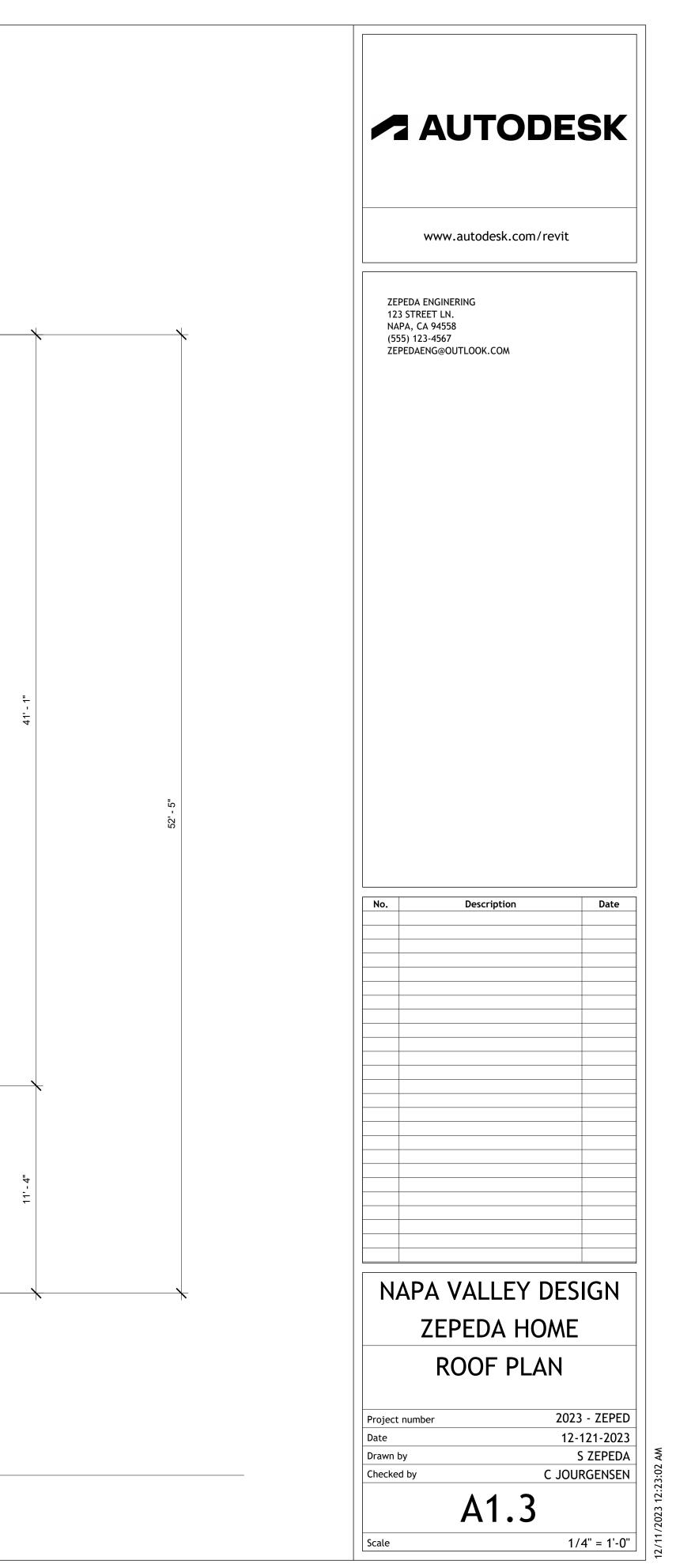
8' - 8"

12' - 10"

6' - 4"







GENERAL STRUCTURAL SECTION NOTES

1. 51/2" INSULATION TO ALL INT. & EXT. WALLS

2. EXT. WALL FINISH 3 COAT STUCCO SYS (SEE MFG FOR SPECS).

3. 3/4" DRY WALL TO ALL INTERIOR WALLS & GARAGE.

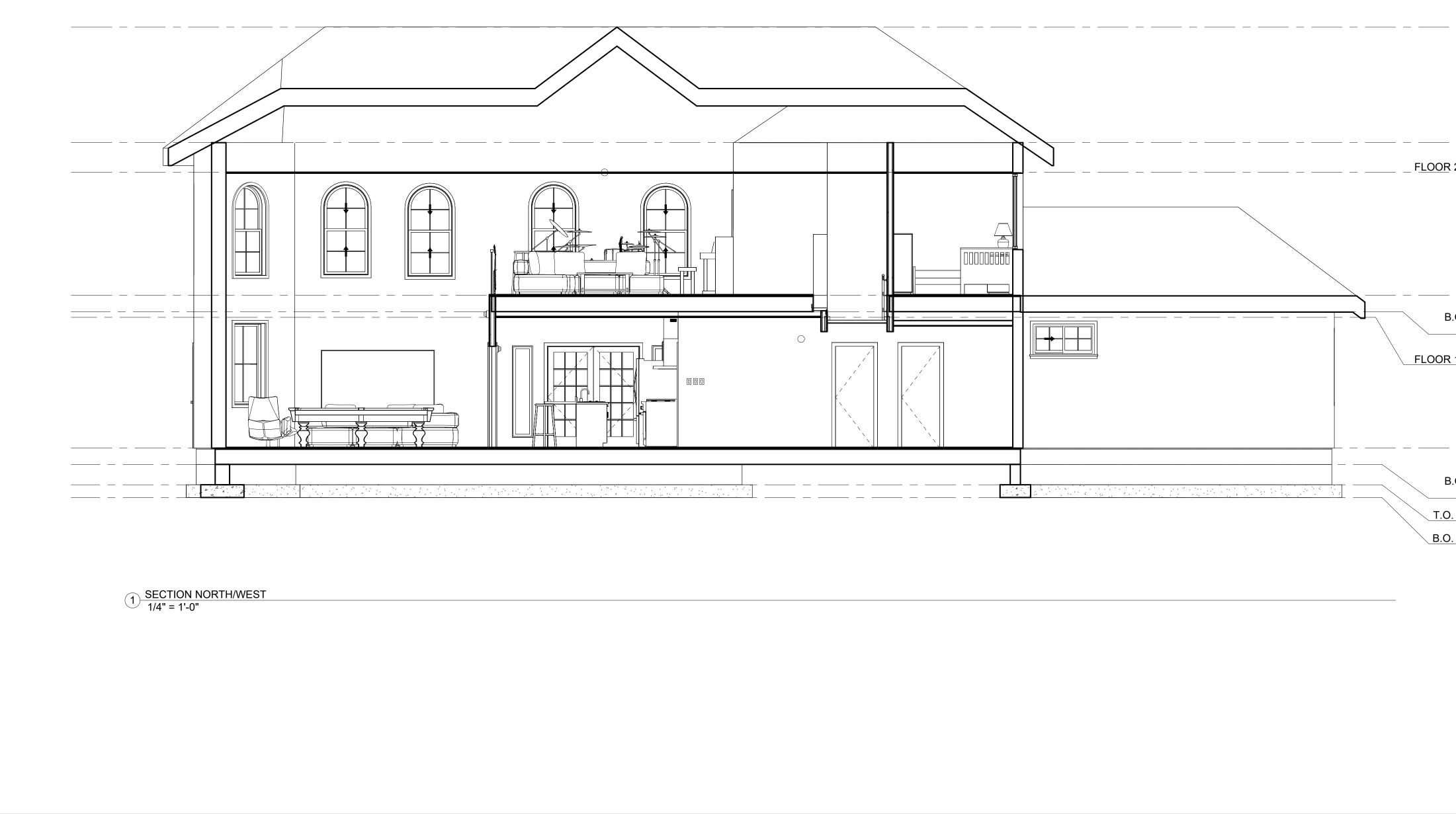
4. TEXTURE COAT ALL INT. WALLS AND CEILING WITH MEDIUM KNOCK DOWN FINISH. NO TEXTURE COAT IN GARAGE.

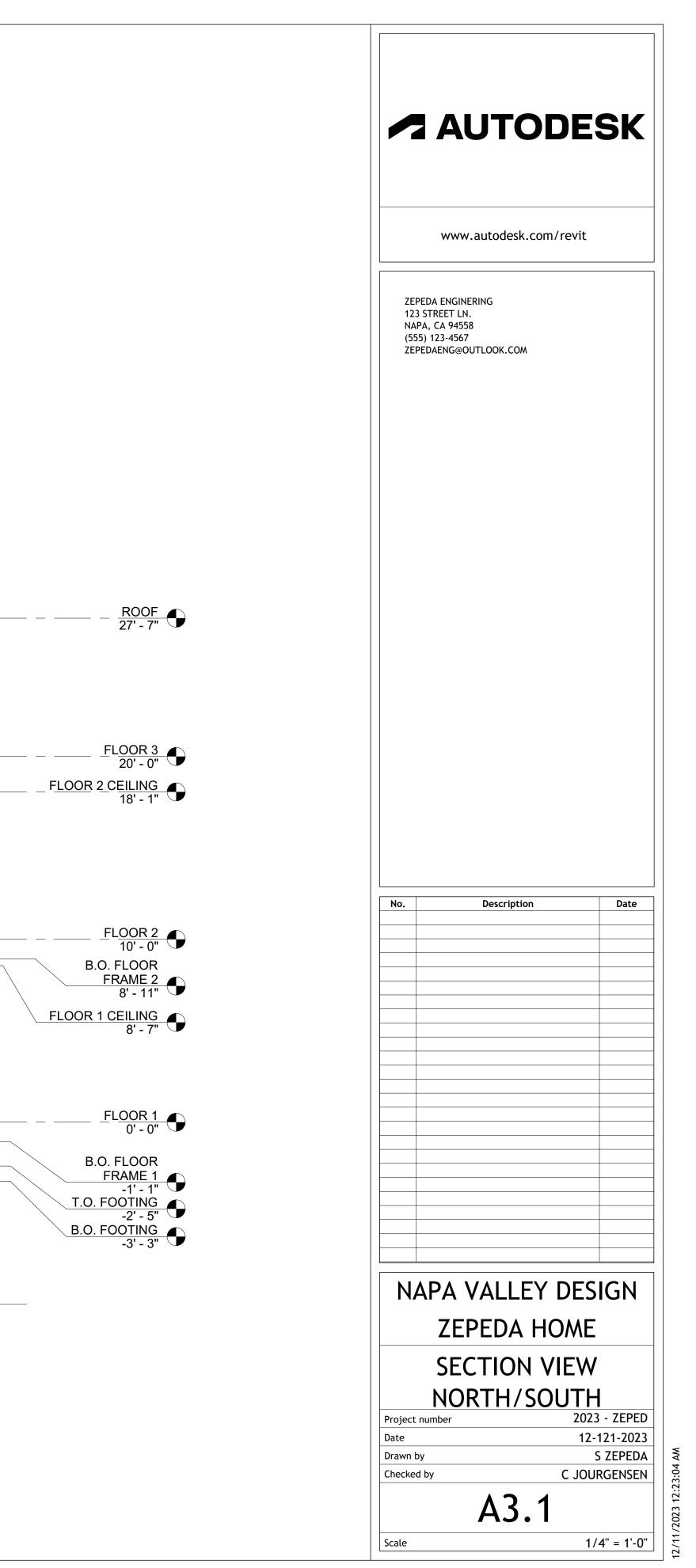
5. PRIME ALL INTERIOR WALLS.

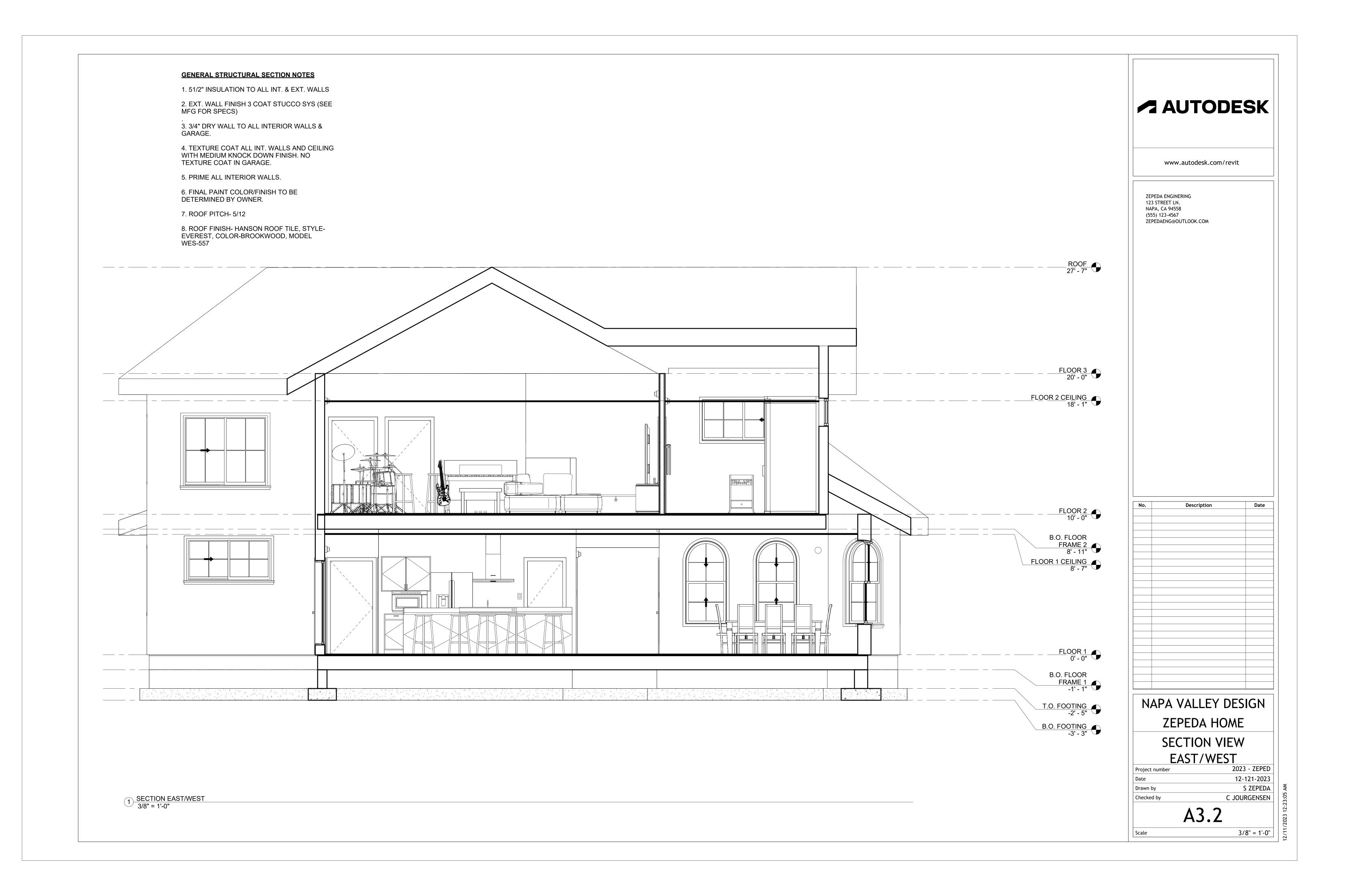
6. FINAL PAINT COLOR/FINISH TO BE DETERMINED BY OWNER.

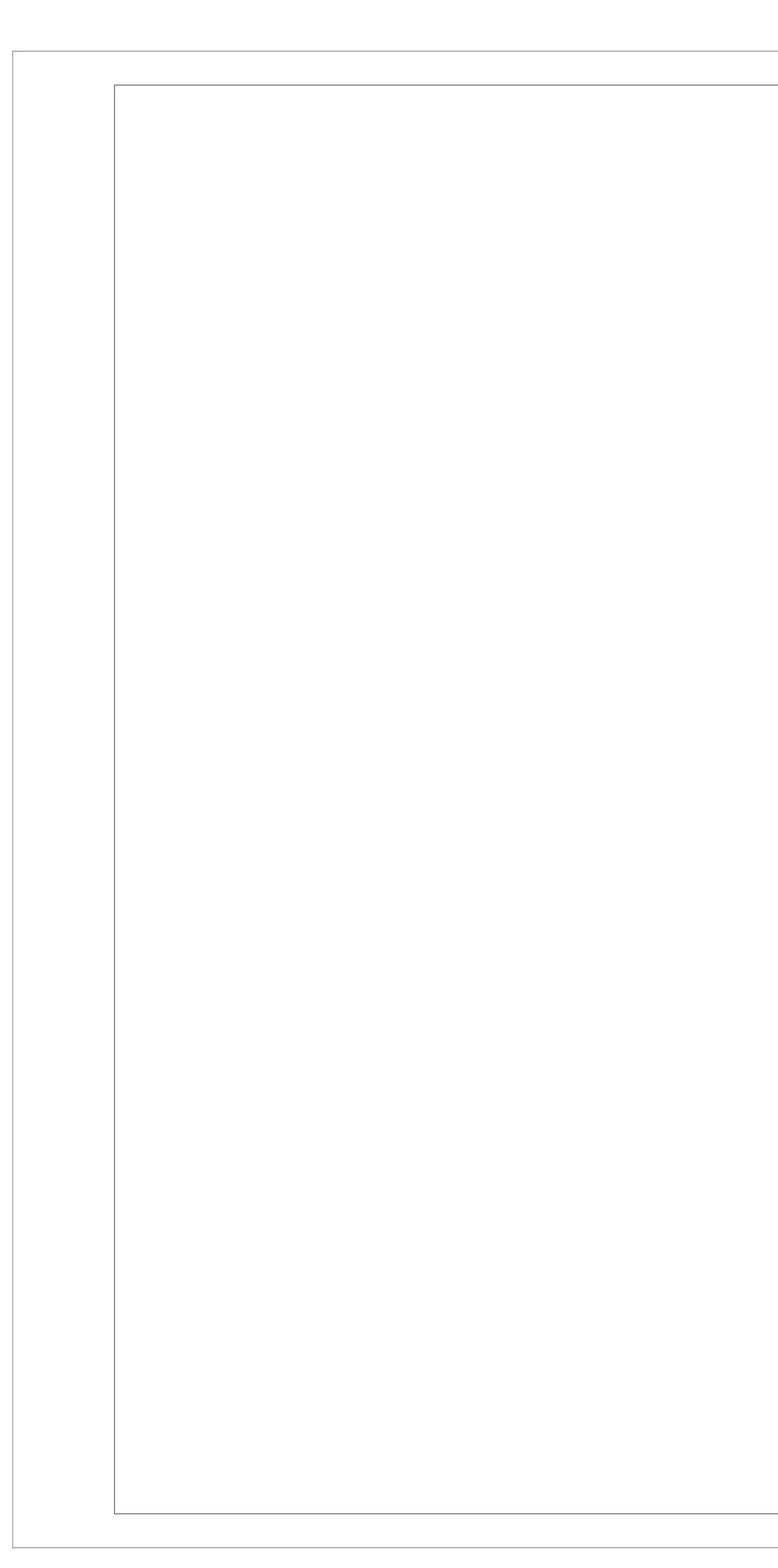
7. ROOF PITCH- 5/12

8. ROOF FINISH- HANSON ROOF TILE, STYLE-EVEREST, COLOR-BROOKWOOD, MODEL WES-557

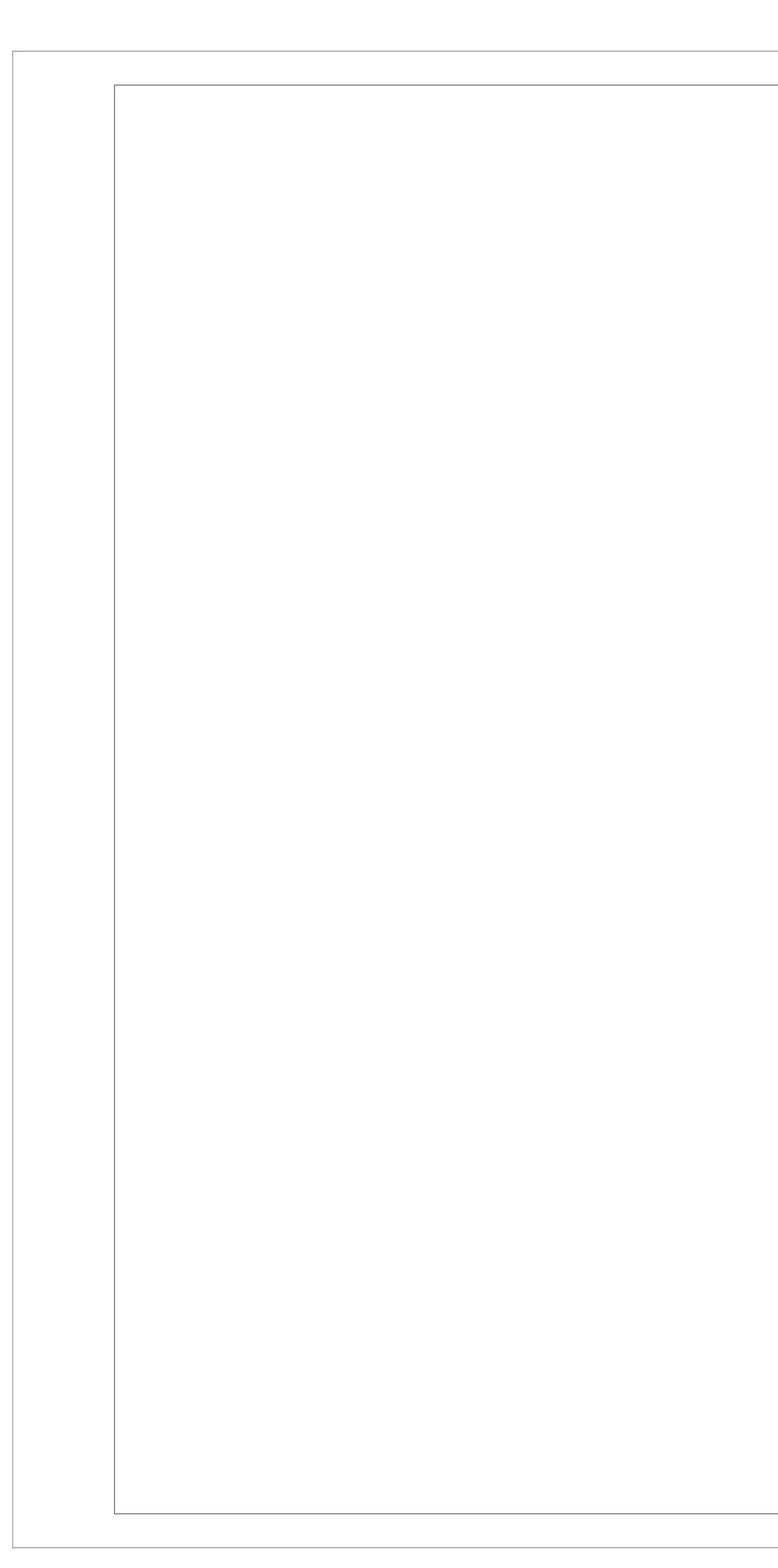








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NAPA VALLEY DESIGN ZEPEDA HOME DETAILS	
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