



<u>ABBREVIATIONS</u>

ABBRE	EVIATIONS						
APN	ASSESSOR PARCEL NUMBER	FO		FACE (OF WALL	_	
ВО	BOTTOM OF			FNDN		FOUN	DATION
CL	CENTER LINE				GYP		GYPSUM WALL BOARD
CLG	CEILING					HVAC	HEATING, VENTILATING, & AIR CONDITIONING
CMU	CONCRETE MASONRY UNIT	INSUL	INSULATED OF	R INSUL	ATION		
COL	COLUMN				INT		INTERIOR
CONC	CONCRETE			MIN		MINIM	UM
CPT	CARPET					MTL	METAL
CT	CERAMIC TILE				NO.		NUMBER
DIM	DIMENSION				OC		ON CENTER
DN	DOWN				PLYD		PLYWOOD
DWG	DRAWING				PT		PRESSURE TREATED
EL	ELEVATION					RM	ROOM
EQ	EQUAL				SD		SMOKE DETECTOR
EXT	EXTERIOR				SF		SQUARE FEET
FF	FINISHED FACE				SPEC		SPECIFIED OR SPECIFICATION
FFL	FINISHED FLOOR LEVEL		TO		TOP O	F	
FIXT	FIXTURE					VIF	VERIFY IN FIELD
FLR	FLOOR				WD		WOOD

GENERAL NOTES:

- 1. THESE PLANS ARE THE PROPERTY OF <insert your full First & Last name> AND ARE NOT TO BE USED FOR ANY OTHER WORK OTHER THAN THE LOCATION SHOWN HEREON.
- 2. THE GENERAL CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND SITE CONDITIONS PRIOR TO STARTING WORK AND SHALL NOTIFY THE DESIGNER OF ANY DISCREPANCY.
- 3. NOTES AND DETAILS ON DRAWINGS SHALL TAKE PRECEDENCE OVER THESE GENERAL NOTES.
- 4. ALL MATERIAL AND WORKMANSHIP SHALL CONFORM TO THE LATEST EDITION OF THE UNIFORM BUILDING CODE. ALL APPLICABLE LOCAL AND STATE CODES, ORDINANCES AND REGULATIONS SHALL BE COMPLIED WITH. IT IS THE RESPONSIBILITY OF ANYONE SUPPLYING LABOR OR MATERIALS OR BOTH TO BRING TO THE ATTENTION OF THE DESIGNER AND THE OWNER ANY DISCREPANCIES OR CONFLICT BETWEEN THE REQUIREMENTS OF THE CODE AND THE DRAWINGS.
- THE DESIGN, ADEQUACY AND SAFETY OF ERECTION, BRACING, SHORING, TEMPORARY SUPPORTS, ETC., IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR, AND HAS NOT BEEN CONSIDERED BY THE STRUCTURAL ENGINEER. THE GENERAL CONTRACTOR IS RESPONSIBLE FOR THE STABILITY OF THE STRUCTURE PRIOR TO THE APPLICATION OF THE SHEAR WALLS, ROOF AND FLOOR DIAPHRAGMS AND FINISH MATERIALS. HE OR SHE SHALL PROVIDE THE NECESSARY BRACING TO PROVIDE STABILITY PRIOR TO THE APPLICATION OF THE AFOREMENTIONED MATERIALS. OBSERVATION VISITS TO THE SITE BY THE DESIGNER AND STRUCTURAL ENGINEER SHALL NOT INCLUDE INSPECTION OR APPROVAL OF THE ABOVE ITEMS.
- 6. VIBRATIONAL EFFECTS OF MECHANICAL EQUIPMENT HAVE NOT BEEN CONSIDERED BY THE STRUCTURAL ENGINEER.
- 7. CONCRETE SLAB ON GRADE HAS NOT BEEN DESIGNED BY THE STRUCTURAL ENGINEER UNLESS SPECIFICALLY DETAILED ON THE DRAWINGS.
- 8. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO LOCATE ALL EXISTING UTILITIES WHETHER SHOWN HEREON OR NOT AND TO PROTECT THEM FROM DAMAGE.
- 9. THE DESIGNER SHALL BE NOTIFIED IMMEDIATELY BY THE CONTRACTOR SHOULD ANY DISCREPANCY OR OTHER QUESTION ARISE PERTAINING TO THE WORK DRAWINGS.
- 10. REFER TO THE STRUCTURAL CALCULATIONS FOR ANY QUESTIONS REGARDING LUMBER GRADES, BEAM AND HEADER SIZES, FOOTINGS AND SHEAR WALL REQUIREMENTS.
- 11. REFER TO SOILS REPORT FOR ANY QUESTIONS REGARDING SOIL REQUIREMENTS.
- 12. ON-SITE VERIFICATION OF ALL DIMENSIONS AND CONDITIONS HALL BE THE RESPONSIBILITY OF THE CONTRACTOR AND HIS OR HER SUBCONTRACTORS, NOTED DIMENSIONS TAKE PRECEDENCE OVER SCALED DIMENSIONS.
- 13. NO FRAMING OF ANY TYPE SHALL BE CONCEALED PRIOR TO INSPECTION BY GOVERNING AGENCIES.
- 14. GRADING AND DRAINAGE: ALL PAVING, FLAT WORK AND PLANTERS NEXT TO BUILDING SHALL BE PROPERLY GRADED TO CARRY WATER AWAY FROM BUILDINGS.
- 15. NO CHANGES ARE TO BE MADE TO THESE PLANS WITHOUT THE KNOWLEDGE OR CONSENT OF THE DESIGNER/ENGINEER WHOSE SIGNATURE APPEARS HEREON.
- 16. ALL OF THE A.S.T.M. DESIGNATIONS ARE TO BE OF THE LATEST EDITION.
- 17. CONTRACTOR SHALL CHECK AND VERIFY SIZE AND LOCATION OF ELECTRICAL SERVICES BEFORE THE BEGINNING OF CONSTRUCTION.
- 18. THE CONTRACTOR SHALL BE HELD RESPONSIBLE FOR THE RESULTS OF ERRORS, DISCREPANCIES OR OMISSIONS WHICH THE CONTRACTOR FAILED TO NOTIFY THE DESIGNER OR ENGINEER OF BEFORE CONSTRUCTION AND/OR FABRICATION OF THE WORK.
- 9. NO DEVIATIONS FROM THE STRUCTURAL DETAILS SHALL BE MADE WITHOUT THE WRITTEN APPROVAL OF THE STRUCTURAL ENGINEER. APPROVAL BY PROJECT INSPECTOR DOES NOT CONSTITUTE AUTHORITY TO DEVIATE FROM PLANS OR SPECIFICATIONS.
- THE CONTRACTOR WARRANTS TO THE OWNER AND DESIGNER THAT HE OR SHE POSSESSES THE PARTICULAR COMPETENCE AND SKILL IN CONSTRUCTION NECESSARY TO BUILD THIS PROJECT WITHOUT FULL ENGINEERING AND ARCHITECTURAL SERVICES AND FOR THE REASON THAT THE CONTRACTOR WISHES TO RELY UPON HIS OR HER OWN COMPETENCE, THE CONTRACTOR OR OWNER HAS RESTRICTED THE DESIGNER'S SCOPE OF PROFESSIONAL SERVICES. THE CONSTRUCTION DOCUMENTS PROVIDED BY THE LIMITED SERVICES SHALL BE TERMED "BUILDERS PLANS" IN RECOGNITION OF THE CONTRACTOR'S SOPHISTICATION. CONSTRUCTION WILL REQUIRE THAT THE CONTRACTOR ADAPT THE "BUILDERS PLANS" TO THE FIELD CONDITIONS ENCOUNTERED, AND MAKE LOGICAL ADJUSTMENTS IN FIT, FORM, DIMENSION, AND QUANTITY THAT ARE TREATED ONLY GENERALLY BY THE "BUILDERS PLANS". IN THE EVENT ADDITIONAL DETAIL OR GUIDANCE IS NEEDED BY THE CONTRACTOR OR OWNER FOR CONSTRUCTION OF ANY ASPECT OF THE PROJECT, HE OR SHE SHALL IMMEDIATELY NOTIFY THE DESIGNER.
- 21. RELEASE OF THE PLANS CONTEMPLATES FURTHER COOPERATION AMONG THE OWNERS, THEIR CONTRACTOR, AND THE DESIGNER. DESIGN AND CONSTRUCTION ARE COMPLEX, ALTHOUGH THE DESIGNER AND HIS/HER CONSULTANTS HAVE PERFORMED THEIR SERVICES WITH DUE CARE AND DILIGENCE, THEY CANNOT GUARANTEE PERFECTION. COMMUNICATION IS IMPERFECT AND EVERY CONTINGENCY CANNOT BE ANTICIPATED. ANY AMBIGUITY OR DISCREPANCY DISCOVERED BY USE OF THESE PLANS SHALL BE REPORTED IMMEDIATELY TO THE DESIGNER. FAILURE TO NOTIFY THE DESIGNER COMPOUNDS MISUNDERSTANDING AND INCREASE CONSTRUCTION COSTS. A FAILURE TO COOPERATE BY A SIMPLE NOTICE TO THE DESIGNER REGARDING THESE ISSUES SHALL RELIEVER THE DESIGNER FROM RESPONSIBILITY FOR ALL CONSEQUENCES.
- 22. ALL REQUIRED PERMITS, SEPARATE PERMITS [PLUMBING, ELECTRICAL, ETC.] SHALL BE OBTAINED PRIOR TO COMMENCING WORK OF THAT TRADE.
- 23. ADJACENT PROPERTY OWNERS SHALL BE NOTIFIED 30 DAYS PRIOR TO CONSTRUCTION.

Sheet List					
	Sheet				
SEQUENCE	Number	Sheet Name			
1	A0.1	TITLE PAGE			
2	S2.1	ELEVATION FRONT/REAR			
3	S2.2	ELEVATION LEFT/RIGHT			
4	A1.1	FLOOR PLAN 1ST FLOOR			
5	A1.2	FLOOR PLAN 2ND FLOOR			
6	A1.3	ROOF PLAN			
7	A3.1	SECTION VIEW NORTH/SOUTH			
8	A3.2	SECTION VIEW EAST/WEST			
9	A5.1	DETAILS			
10	A6.1	SCHEDULES			

PROJECT INFORMATION

LOCATION ADDRESS: 2991 WOODCREST DR. CITY, STATE ZIP: NAPA, CA 94558

APN# 04148400500

HOUSE 1ST FLOOR: <2,198>SF HOUSE 2ND FLOOR: <1,418>SF GARAGE: <863>SF ACCESSORY BUILDING: 0 SF TOTAL AREA ALL NEW CONSTRUCTION: 4,479 SF TOTAL HEATED AREA: 3616 SF

TOTAL LOT AREA: 3,598 SF ALLOWABLE BUILD AREA: 6,147 SF

CONTACT INFORMATION

OWNER/MANAGER: <C. JOURGENSON> ADDRESS: NVC COLLEGE CITY, STATE ZIP: NAPA, CA 94558 PHONE: 707-555-0198

DESIGNER: <T. VIDALES>
ADDRESS: 109 ELODIA CIR
CITY, STATE ZIP: NAPA, CA 94558
PHONE: 707-555-3803
E-MAIL: NVCVIDALES@GMAIL.COM

BUILDING CODE SUMMARY

THE PROJECT SHOULD APPLY WITH ALL THE OTHER ORDINCES AND REGULATIONS ADOPTED BY THE STATE GOVERNING AGENCIES

APPLICABLE CODES

2021 CALIFORNIA BUILDING CODE (CBC)
2021 CALIFORNIA MECHANICAL CODE (CMC)
2021 CALIFORNIA PLUMBING CODE (CPC)
2021 CALIFORNIA ELECTRICAL CODE (CEC)
2021 CALIFORNIA ENERGY STANDARDS (CES)
2021 CALIFORNIA FIRE CODE (CFC)
2021 CALIFORNIA RESIDENTIAL CODE (CRC)



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No. Description Date

NAPA VALLEY DESIGN VIDALES HOME

TITLE PAGE

Project number 2023 - VIDAL

Date 12-12-23

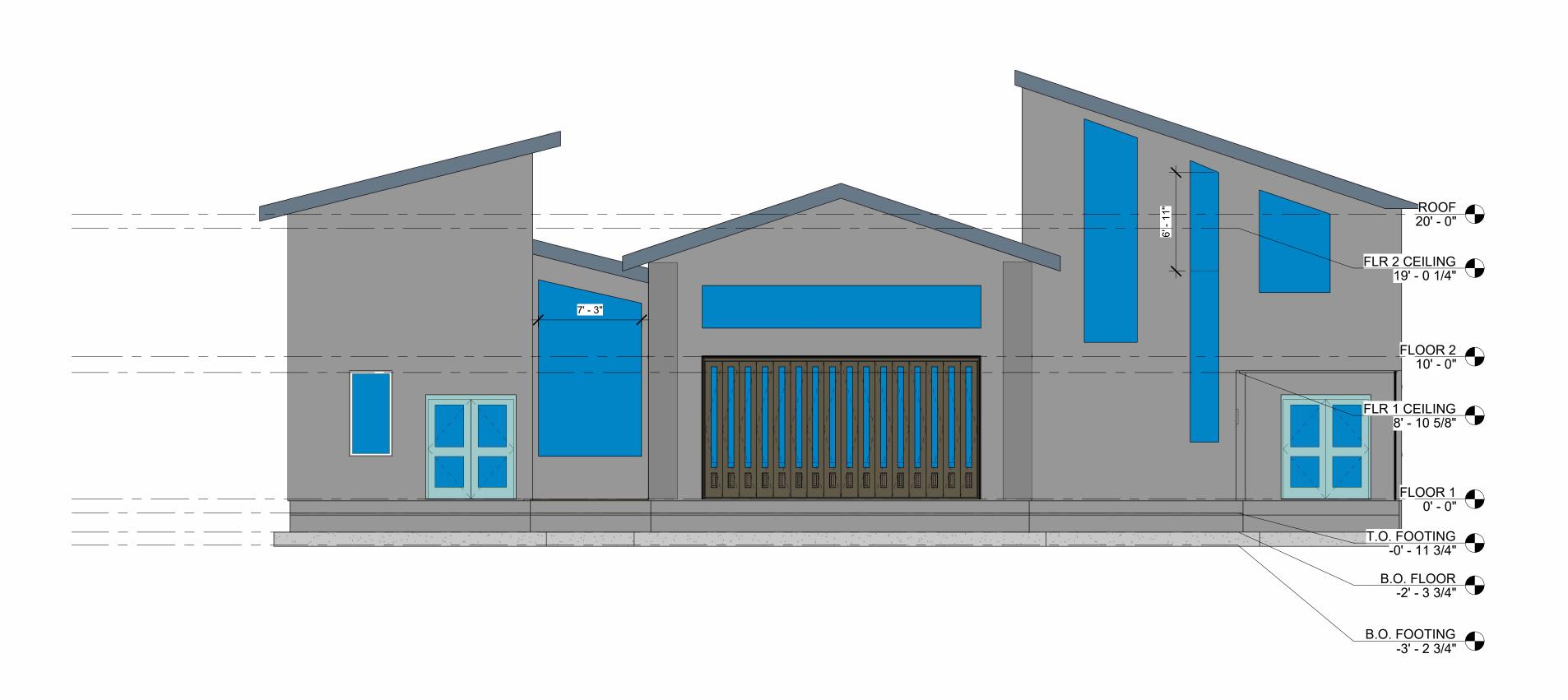
Drawn by T. VIDALES

Checked by C. JOURGESSON

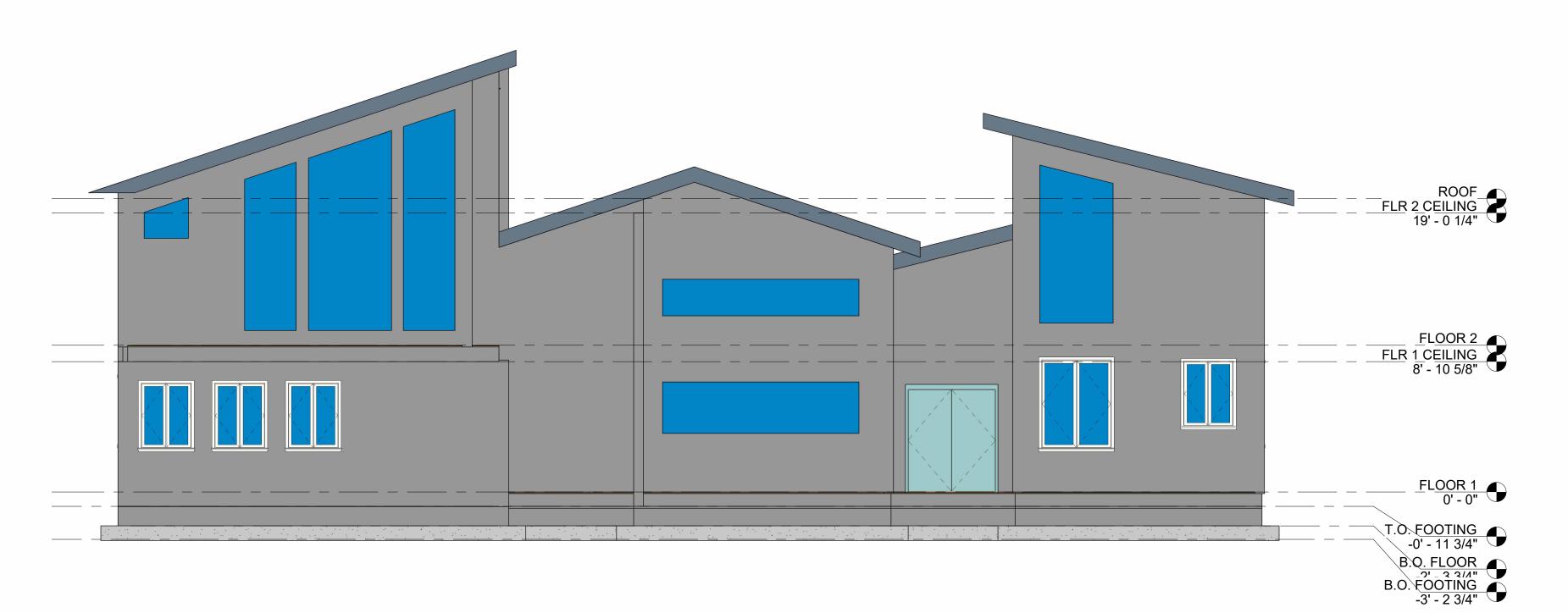
A0.1

Scale

12/15/2023 5:17:40 PM



1 North 3/16" = 1'-0'



2 South 3/16" = 1'-0"



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lo.	Description	Date

NAPA VALLEY DESIGN VIDALES HOME

ELEVATION
FRONT/REAR
mber 2023 - VIDAL

Project number 2023 - VIDAL

Date 12-12-23

Drawn by T. VIDALES

Checked by C. JOURGESSON

52

Scale 3/16" = 1'-0"



2 West 3/16" = 1'-0"



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o. Description Date

NAPA VALLEY DESIGN VIDALES HOME

ELEVATION LEFT/RIGHT

Project number

Date

12-12-23

Drawn by

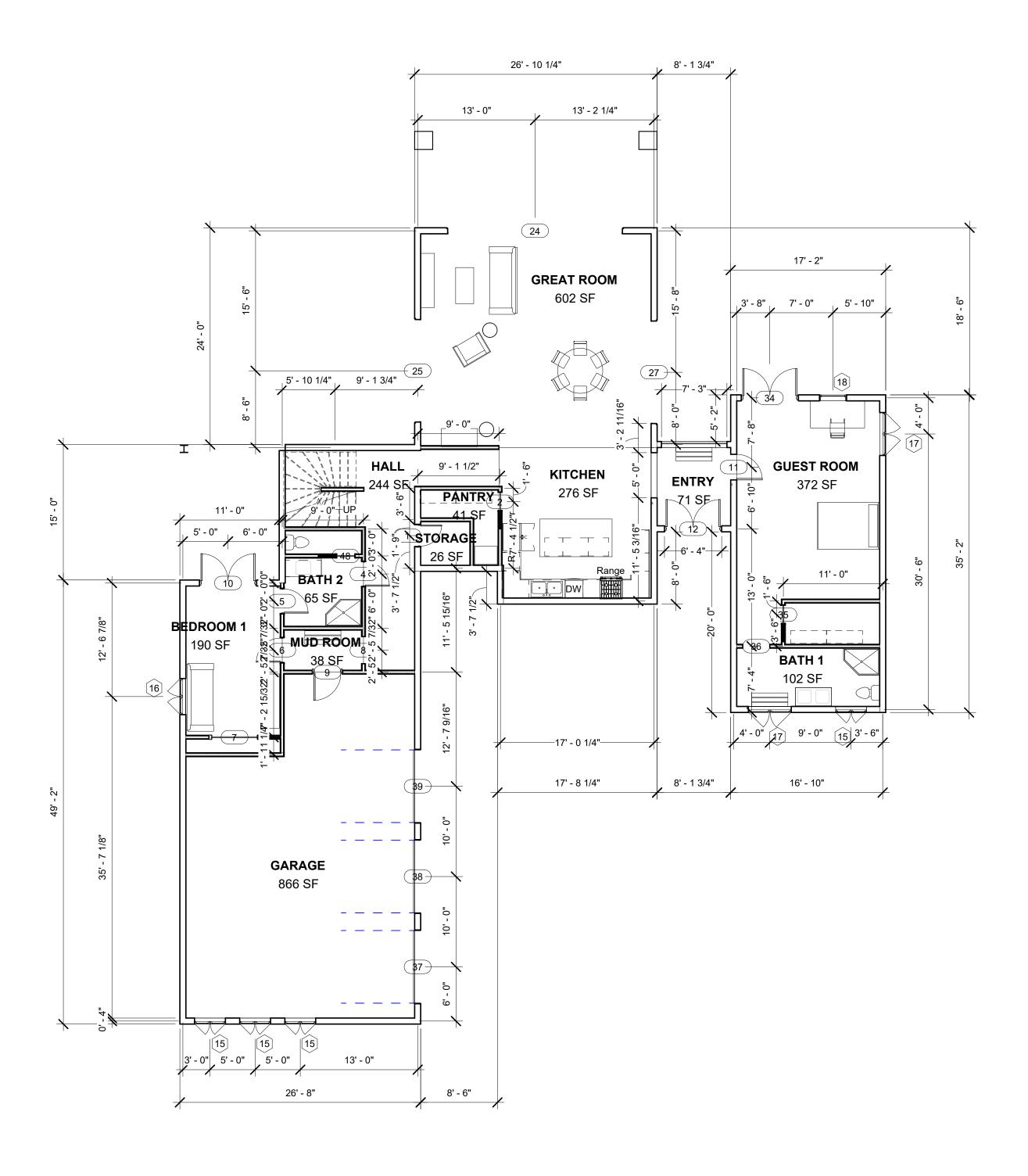
T. VIDALES

Checked by

C. JOURGESSON

S2.

Scale 3/16" = 1'-0"



1/8" = 1'-0"



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No. Description Date

NAPA VALLEY DESIGN VIDALES HOME

FLOOR PLAN 1ST FLOOR

Project number 2023 - VIDAL

Date 12-12-23

Drawn by T. VIDALES

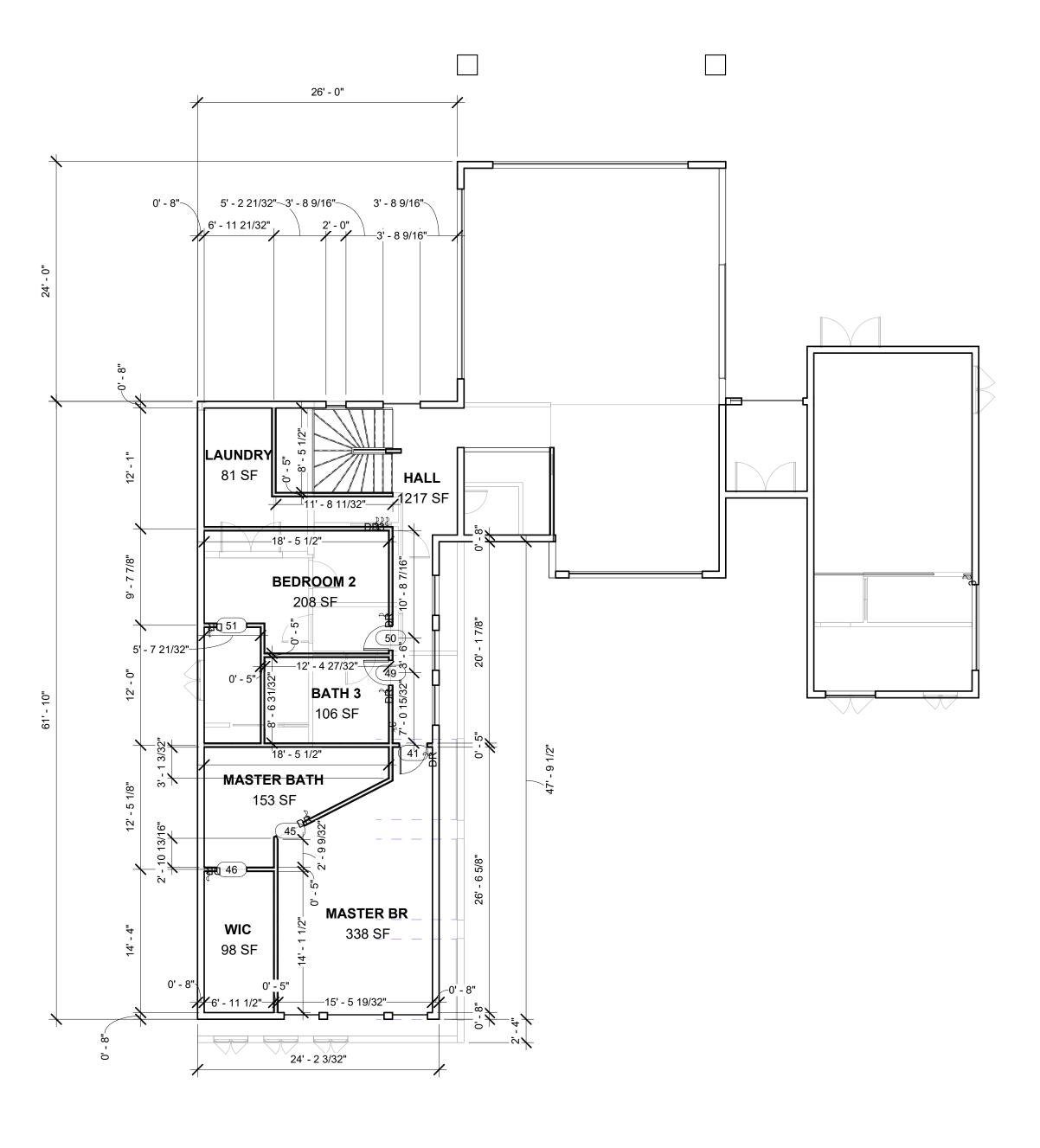
Checked by C. JOURGESSON

A1.1

Scale

1/8" = 1'-0"

12/15/2023 5-17-48 PM



1 FLOOR 2 - DIMENSION PLAN 1/8" = 1'-0"



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No.	Description	Date

NAPA VALLEY DESIGN VIDALES HOME FLOOR PLAN 2ND FLOOR

Project number 2023 - VIDAL

Date 12-12-23

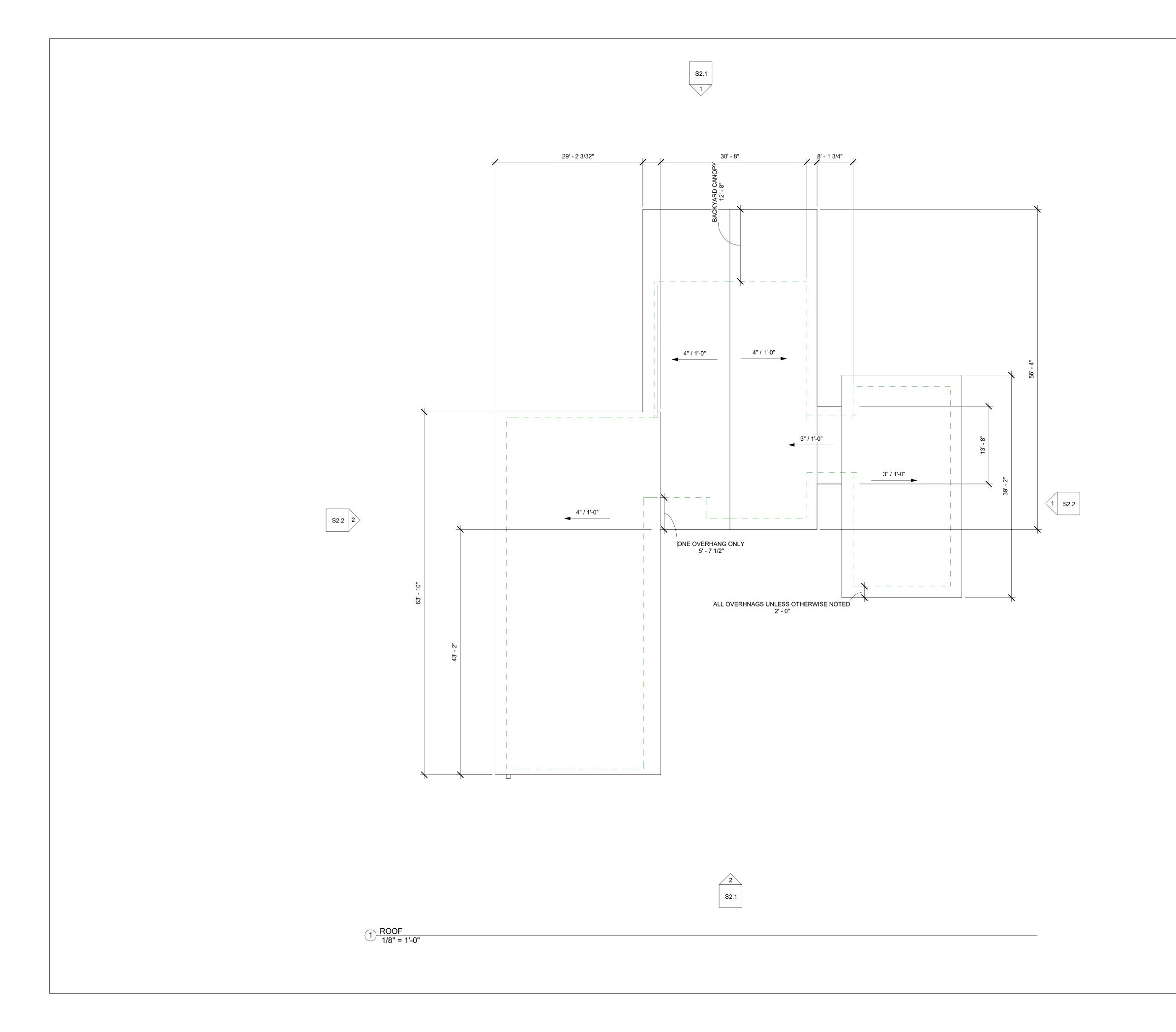
Drawn by T. VIDALES

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A1.2

Scale

1/8" = 1'-0"





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No. Description Date

NAPA VALLEY DESIGN VIDALES HOME ROOF PLAN

Project number 2023 - VIDAL

Date 12-12-23

Drawn by T. VIDALES

Checked by C. JOURGESSON

A1.

Scale 1/8" = 1'-0"

12 /15/2023 5-17-49 PM

GENERAL STRUCTURAL SECTION NOTES

1. 51/2" INSULATION TO ALL INT. & EXT. WALLS

2. EXT. WALL FINISH 3 COAT STUCCO SYS (SEE MFG FOR SPECS)

3. 3/4" DRY WALL TO ALL INTERIOR WALLS & GARAGE.

4. TEXTURE COAT ALL INT. WALLS AND CEILING WITH MEDIUM KNOCK DOWN FINISH. NO TEXTURE COAT IN GARAGE.

5. PRIME ALL INTERIOR WALLS.

6. FINAL PAINT COLOR/FINISH TO BE DETERMINED BY OWNER.

7. ROOF PITCH- 4/12

8. ROOF FINISH- HANSON ROOF TILE, STYLEEVEREST, COLOR-BROOKWOOD, MODEL WES-557



1 NORTH/SOUTH SECTION VIEW 3/16" = 1'-0"



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ο.	Description	Date

NAPA VALLEY DESIGN VIDALES HOME

SECTION VIEW
NORTH/SOUTH
number 2023 - VIDAL

Project number 2023 - VIDAL

Date 12-12-23

Drawn by T. VIDALES

Checked by C. JOURGESSON

A3.1

Scale 3/16" = 1'-0"

GENERAL STRUCTURAL SECTION NOTES

1. 51/2" INSULATION TO ALL INT. & EXT. WALLS

2. EXT. WALL FINISH 3 COAT STUCCO SYS (SEE MFG FOR SPECS).

3. 3/4" DRY WALL TO ALL INTERIOR WALLS & GARAGE.

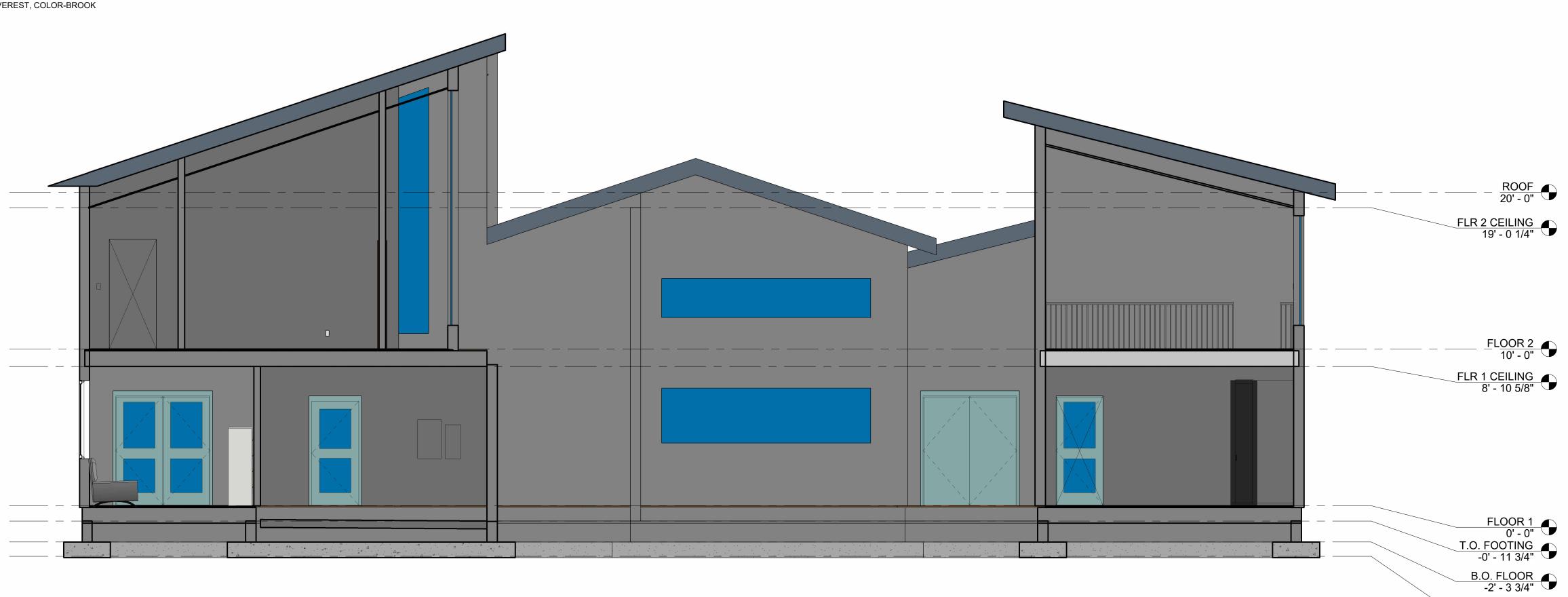
4. TEXTURE COAT ALL INT. WALLS AND CEILING WITH MEDIUM KNOCK DOWN FINISH. NO TEXTURE COAT IN GARAGE.

5. PRIME ALL INTERIOR WALLS.

6. FINAL PAINT COLOR/FINISH TO BE DETERMINED BY OWNER.

7. ROOF PITCH- 5/12

8. ROOF FINISH- HANSON ROOF TILE, STYLEEVEREST, COLOR-BROOK



1) EAST/WEST SECTION VIEW 1/4" = 1'-0"

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B.O. FOOTING -3' - 2 3/4" Description

Date

NAPA VALLEY DESIGN VIDALES HOME

SECTION VIEW EAST/WEST

Project number 2023 - VIDAL

Date 12-12-23

Drawn by T. VIDALES

Checked by C. JOURGESSON

A3.2

Scale

1/4" = 1'-0"

12 /1E /2022 E-17-E£ DM