

GENERAL NOTES:

- 1. THESE PLANS ARE THE PROPERTY OF BRIGID HEDLUND AND ARE NOT TO BE USED FOR ANY OTHER WORK OTHER THAN THE LOCATION SHOWN HEREON.
- THE GENERAL CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND SITE CONDITIONS PRIOR TO STARTING WORK AND SHALL NOTIFY THE DESIGNER OF ANY DISCREPANCY.
- NOTES AND DETAILS ON DRAWINGS SHALL TAKE PRECEDENCE OVER THESE GENERAL NOTES.
- 4. ALL MATERIAL AND WORKMANSHIP SHALL CONFORM TO THE LATEST EDITION OF THE UNIFORM BUILDING CODE. ALL APPLICABLE LOCAL AND STATE CODES, ORDINANCES AND REGULATIONS SHALL BE COMPLIED WITH. IT IS THE RESPONSIBILITY OF ANYONE SUPPLYING LABOR OR MATERIALS OR BOTH TO BRING TO THE ATTENTION OF THE DESIGNER AND THE OWNER ANY DISCREPANCIES OR CONFLICT BETWEEN THE REQUIREMENTS OF THE CODE AND THE DRAWINGS.
- THE DESIGN, ADEQUACY AND SAFETY OF ERECTION, BRACING, SHORING, TEMPORARY SUPPORTS, ETC., IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR, AND HAS NOT BEEN CONSIDERED BY THE STRUCTURAL ENGINEER. THE GENERAL CONTRACTOR IS RESPONSIBLE FOR THE STABILITY OF THE STRUCTURE PRIOR TO THE APPLICATION OF THE SHEAR WALLS, ROOF AND FLOOR DIAPHRAGMS AND FINISH MATERIALS. HE OR SHE SHALL PROVIDE THE NECESSARY BRACING TO PROVIDE STABILITY PRIOR TO THE APPLICATION OF THE AFOREMENTIONED MATERIALS. OBSERVATION VISITS TO THE SITE BY THE DESIGNER AND STRUCTURAL ENGINEER SHALL NOT INCLUDE INSPECTION OR APPROVAL OF THE ABOVE ITEMS.
- VIBRATIONAL EFFECTS OF MECHANICAL EQUIPMENT HAVE NOT BEEN CONSIDERED BY THE STRUCTURAL ENGINEER.
- CONCRETE SLAB ON GRADE HAS NOT BEEN DESIGNED BY THE STRUCTURAL ENGINEER UNLESS SPECIFICALLY DETAILED ON THE
- IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO LOCATE ALL EXISTING UTILITIES WHETHER SHOWN HEREON OR NOT AND TO PROTECT THEM FROM DAMAGE.
- THE DESIGNER SHALL BE NOTIFIED IMMEDIATELY BY THE CONTRACTOR SHOULD ANY DISCREPANCY OR OTHER QUESTION ARISE PERTAINING TO THE WORK DRAWINGS.
- REFER TO THE STRUCTURAL CALCULATIONS FOR ANY QUESTIONS REGARDING LUMBER GRADES, BEAM AND HEADER SIZES, FOOTINGS AND SHEAR WALL REQUIREMENTS.
- REFER TO SOILS REPORT FOR ANY QUESTIONS REGARDING SOIL REQUIREMENTS.
- ON-SITE VERIFICATION OF ALL DIMENSIONS AND CONDITIONS HALL BE THE RESPONSIBILITY OF THE CONTRACTOR AND HIS OR HER SUBCONTRACTORS, NOTED DIMENSIONS TAKE PRECEDENCE OVER SCALED DIMENSIONS.
- 13. NO FRAMING OF ANY TYPE SHALL BE CONCEALED PRIOR TO INSPECTION BY GOVERNING AGENCIES.
- GRADING AND DRAINAGE: ALL PAVING, FLAT WORK AND PLANTERS NEXT TO BUILDING SHALL BE PROPERLY GRADED TO CARRY WATER AWAY FROM BUILDINGS.
- 15. NO CHANGES ARE TO BE MADE TO THESE PLANS WITHOUT THE KNOWLEDGE OR CONSENT OF THE DESIGNER/ENGINEER WHOSE SIGNATURE APPEARS HEREON.
- 16. ALL OF THE A.S.T.M. DESIGNATIONS ARE TO BE OF THE LATEST EDITION.
- 17. CONTRACTOR SHALL CHECK AND VERIFY SIZE AND LOCATION OF ELECTRICAL SERVICES BEFORE THE BEGINNING OF CONSTRUCTION.
- 18. THE CONTRACTOR SHALL BE HELD RESPONSIBLE FOR THE RESULTS OF ERRORS, DISCREPANCIES OR OMISSIONS WHICH THE CONTRACTOR FAILED TO NOTIFY THE DESIGNER OR ENGINEER OF BEFORE CONSTRUCTION AND/OR FABRICATION OF THE WORK.
- 19. NO DEVIATIONS FROM THE STRUCTURAL DETAILS SHALL BE MADE WITHOUT THE WRITTEN APPROVAL OF THE STRUCTURAL ENGINEER. APPROVAL BY PROJECT INSPECTOR DOES NOT CONSTITUTE AUTHORITY TO DEVIATE FROM PLANS OR SPECIFICATIONS.
- 20. THE CONTRACTOR WARRANTS TO THE OWNER AND DESIGNER THAT HE OR SHE POSSESSES THE PARTICULAR COMPETENCE AND SKILL IN CONSTRUCTION NECESSARY TO BUILD THIS PROJECT WITHOUT FULL ENGINEERING AND ARCHITECTURAL SERVICES AND FOR THE REASON THAT THE CONTRACTOR WISHES TO RELY UPON HIS OR HER OWN COMPETENCE, THE CONTRACTOR OR OWNER HAS RESTRICTED THE DESIGNER'S SCOPE OF PROFESSIONAL SERVICES. THE CONSTRUCTION DOCUMENTS PROVIDED BY THE LIMITED SERVICES SHALL BE TERMED "BUILDERS PLANS" IN RECOGNITION OF THE CONTRACTOR'S SOPHISTICATION. CONSTRUCTION WILL REQUIRE THAT THE CONTRACTOR ADAPT THE "BUILDERS PLANS" TO THE FIELD CONDITIONS ENCOUNTERED, AND MAKE LOGICAL ADJUSTMENTS IN FIT, FORM, DIMENSION, AND QUANTITY THAT ARE TREATED ONLY GENERALLY BY THE "BUILDERS PLANS". IN THE EVENT ADDITIONAL DETAIL OR GUIDANCE IS NEEDED BY THE CONTRACTOR OR OWNER FOR CONSTRUCTION OF ANY ASPECT OF THE PROJECT, HE OR SHE SHALL IMMEDIATELY NOTIFY THE DESIGNER.
- RELEASE OF THE PLANS CONTEMPLATES FURTHER COOPERATION AMONG THE OWNERS, THEIR CONTRACTOR, AND THE DESIGNER. DESIGN AND CONSTRUCTION ARE COMPLEX, ALTHOUGH THE DESIGNER AND HIS/HER CONSULTANTS HAVE PERFORMED THEIR SERVICES WITH DUE CARE AND DILIGENCE, THEY CANNOT GUARANTEE PERFECTION. COMMUNICATION IS IMPERFECT AND EVERY CONTINGENCY CANNOT BE ANTICIPATED. ANY AMBIGUITY OR DISCREPANCY DISCOVERED BY USE OF THESE PLANS SHALL BE REPORTED IMMEDIATELY TO THE DESIGNER. FAILURE TO NOTIFY THE DESIGNER COMPOUNDS MISUNDERSTANDING AND INCREASE CONSTRUCTION COSTS. A FAILURE TO COOPERATE BY A SIMPLE NOTICE TO THE DESIGNER REGARDING THESE ISSUES SHALL RELIEVER THE DESIGNER FROM RESPONSIBILITY FOR ALL CONSEQUENCES.
- ALL REQUIRED PERMITS, SEPARATE PERMITS [PLUMBING, ELECTRICAL, ETC.] SHALL BE OBTAINED PRIOR TO COMMENCING WORK OF
- 23. ADJACENT PROPERTY OWNERS SHALL BE NOTIFIED 30 DAYS PRIOR TO CONSTRUCTION.

SHEET INDEX

SHEET INDEX

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BUILDING CODE SUMMARY

THE PROJECT SHOULD APPLY WITH ALL THE OTHER ORDINANCES AND REGULATIONS ADOPTED BY THE STATE GOVERNING AGENCIES

APPLICABLE CODES

- 2021 CALIFORNIA BUILDING CODE (CBC) 2021 CALIFORNIA MECHANICAL CODE (CMC) 2021 CALIFORNIA PLUMBING CODE (CPC) 2021 CALIFORNIA ELECTRICAL CODE (CEC)
- 2021 CALIFORNIA ENERGY STANDARDS (CES) 2021 CALIFORNIA FIRE CODE (CFC) 2021 CALIFORNIA RESIDENTIAL CODE (CRC)

CONTACT INFORMATION

OWNER/MANAGER: BHEDLUND ADDRESS: 123 NAPA ROAD CITY, STATE ZIP: NAPA, CA 94558 PHONE: (707) 123-4567

DESIGNER: BHEDLUND ADDRESS: 2277 NAPA VALLEJO HWY CITY, STATE ZIP: NAPA, CA 94558 PHONE: (707) 123-4567 E-MAIL: BHEDLUND42921@STUDENT.NAPAVALLEY.EDU



BHEDLUND

HEDLUND HOME

PROJECT INFORMATION

LOCATION ADDRESS: 123 LINDA COURT CITY, STATE ZIP: NAPA, CA 94558

APN# 000-000-000-000

HOUSE 1ST FLOOR: 903 SF HOUSE 2ND FLOOR: 1,609 SF GARAGE: 638SF TOTAL AREA ALL NEW CONSTRUCTION: 3,150 SF TOTAL HEATED AREA: 2,512 SF

TOTAL LOT AREA: 49,617 SF ALLOWABLE BUILD AREA:

ASSESSOR PARCEL NUMBER ВО BOTTOM OF CENTER LINE CLG CEILING CMU CONCRETE MASONRY UNIT COL COLUMN CONC CONCRETE CPT CARPET CT CERAMIC TILE DIM DIMENSION DN DOWN DWG DRAWING **ELEVATION** EQ **EQUAL** EXT **EXTERIOR** FF FINISHED FACE FFL FINISHED FLOOR LEVEL FIXT FIXTURE **FLOOR**

ABBREVIATIONS

HEATING, VENTILATING, & AIR CONDITIONING HVAC INSUL INSULATED OR INSULATION INT INTERIOR MIN MINIMUM MTL METAL NO. NUMBER OC ON CENTER PLYD PLYWOOD PT PRESSURE TREATED

FNDN

GYP

FACE OF WALL

FOUNDATION

GYPSUM WALL BOARD

RMROOM SD SMOKE DETECTOR SQUARE FEET SPEC SPECIFIED OR SPECIFICATION TO TOP OF VIF VERIFY IN FIELD

WOOD

VICINITY MAP

TITLE

2025-HEDLU DECEMBER 11, 2025 BHEDLUND

CJOURGENSEN

A0.1

NAPA COUNTY APPROVAL STAMP

Scale



CURRENT USE: LOT IS UNDEVELOPED. PROPOSED USE: RESIDENTIAL BUILDING

BOUNDARY AND TOPOGRAPHIC INFORMATION TAKEN FROM FIELD SURVEY PREPARED BY BARTLETT & WEST (AUGUST 2013)

PROPOSED CONCRETE PAVEMENT TO BE 8" REINFORCED, PORTLAND CEMENT CONCRETE ON COMPACTED SUBGRADE UNLESS OTHERWISE SHOWN.

SITE LIGHTING TO BE WALL MOUNTED LIGHTS. ALL LIGHTING SHALL BE PROVIDED WITH FULL CUT-OFF.

ALL MECHANICAL EQUIPMENT WILL BE SCREENED IN ACCORDANCE WITH SECTION 20-1006(B) OF THE DEVELOPMENT CODE.

TURF AREAS TO BE SEEDED UNLESS NOTED OTHERWISE.

PROPOSED BUILDING TO BE CONSTRUCTED WITHIN THE BUILDING PAD.

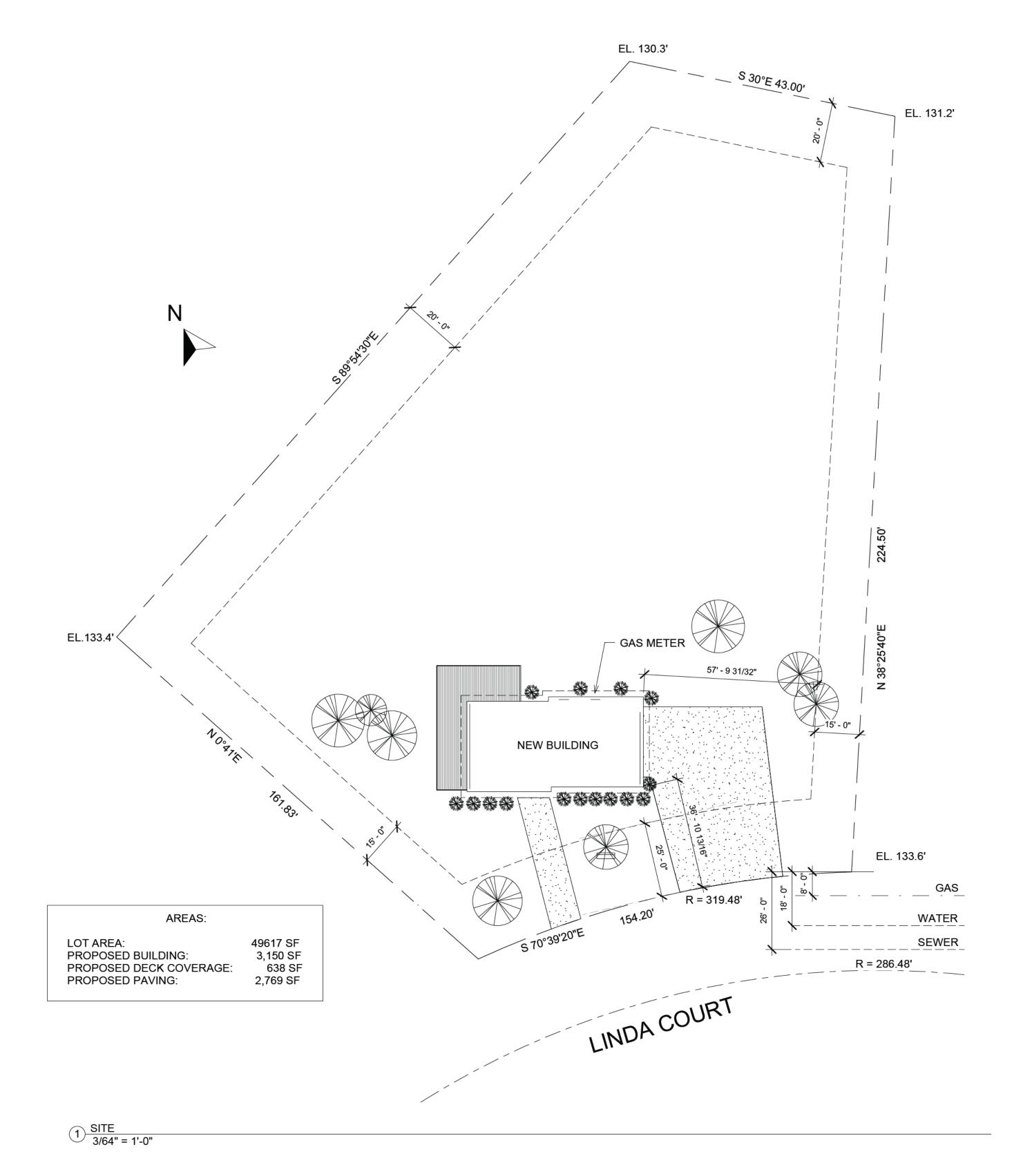
REFER TO SHEET SP2 FOR TREE REMOVAL AND PROPOSED LANDSCAPE INFORMATION.

BASED ON THE UPDATED FLOOD STUDY BEING CONDUCTED FOR THE CITY OF LAWRENCE, A PORTION OF THE SITE IS LOCATED WITHIN THE 100 YEAR FLOOD PLAIN. A FLOODPLAIN DEVELOPMENT PERMIT APPLICATION WILL BE SUBMITTED TO THE CITY OF LAWRENCE.

ALL RETAINING/DETAINING WALLS, TURN-DOWN CURBS, TREE RETAINING WALLS SHALL BE CLAD IN A MATERIAL TO MATCH THE MATERIALS ON THE MAIN BUILDING.

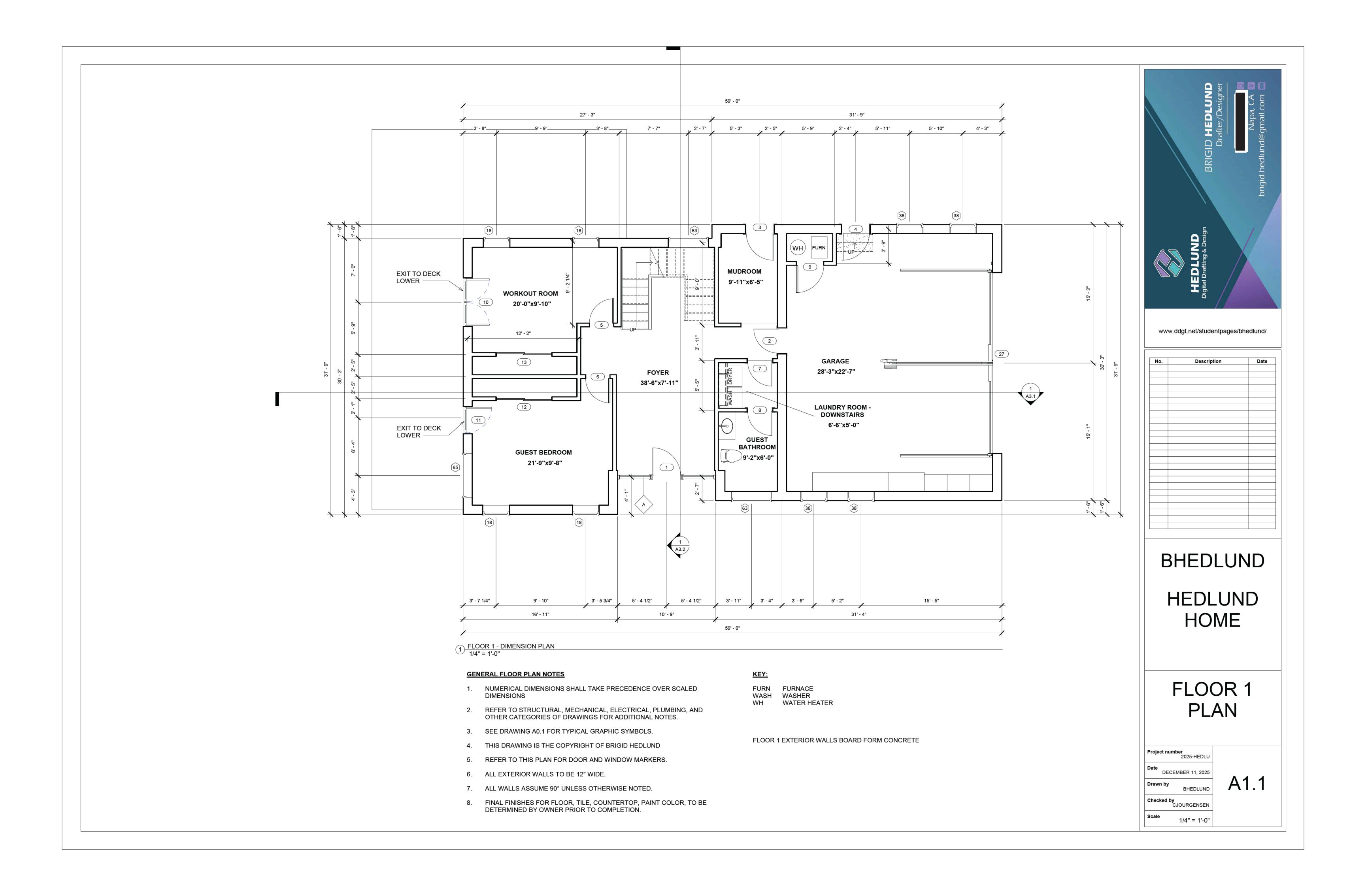
ALL GROUND BASED HVAC SHALL BE SCREENED WITH LIVE SCREENING OR MASONRY ENCLOSURE. MASONRY ENCLOSURE SHALL BE CLAD IN THE SAME MATERIAL AS THE MAIN BUILDING.

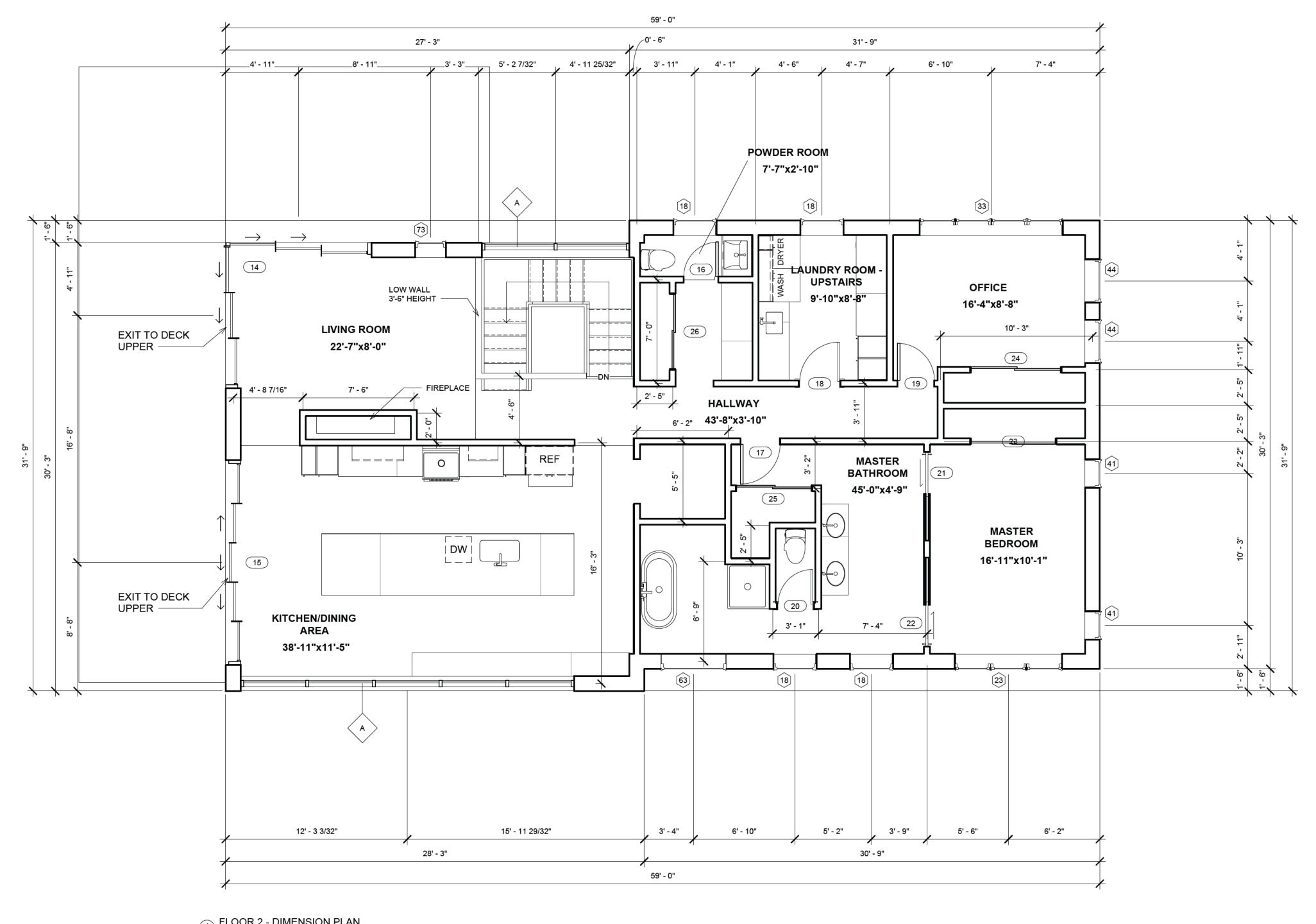
ALL ROOF-MOUNTED MECHANICAL UNITS AND/OR EQUIPMENT SHALL BE SCREENED FROM VIEW.





3/64" = 1'-0"





1) FLOOR 2 - DIMENSION PLAN 1/4" = 1'-0"

GENERAL FLOOR PLAN NOTES

- 1. NUMERICAL DIMENSIONS SHALL TAKE PRECEDENCE OVER SCALED DIMENSIONS
- 2. REFER TO STRUCTURAL, MECHANICAL, ELECTRICAL, PLUMBING, AND OTHER CATEGORIES OF DRAWINGS FOR ADDITIONAL NOTES.
- 3. SEE DRAWING A0.1 FOR TYPICAL GRAPHIC SYMBOLS.
- 4. THIS DRAWING IS THE COPYRIGHT OF BRIGID HEDLUND
- 5. REFER TO THIS PLAN FOR DOOR AND WINDOW MARKERS.
- 6. ALL EXTERIOR WALLS TO BE 12" WIDE.
- 7. ALL WALLS ASSUME 90° UNLESS OTHERWISE NOTED.
- 8. FINAL FINISHES FOR FLOOR, TILE, COUNTERTOP, PAINT COLOR, TO BE DETERMINED BY OWNER PRIOR TO COMPLETION.

KEY:

DISHWASHER REFRIGERATOR OVEN

WASH WASHER

FLOOR 2 EXTERIOR WALLS STICK FRAMED



BHEDLUND HEDLUND HOME

> FLOOR 2 PLAN

1		
	Project number 2025-HEDLU	
	Date DECEMBER 11, 2025	
	Drawn by BHEDLUND	
	Checked by CJOURGENSEN	

1/4" = 1'-0"

A1.2

GENERAL NOTES - ROOF PLAN

CONTRACTOR SHALL BE COMPLETELY RESPONSIBLE FOR FIELD VERIFYING ALL EXISTING CONDITIONS INCLUDING DIMENSIONS DETAILING, ROOF FURNITURE, AND LOCATIONS. CONFLICTS ARE TO BE BROUGHT TO THE ATTENTION OF THE ARCHITECT PRIOR TO START OF CONSTRUCTION.

ROOF SLOPES TO BE 2/12" MINIMUM INCLUDING VALLEYS.

ALL WORK SHALL BE IN ACCORDANCE W/ ACCEPTABLE ROOFING MANUFACTURER'S WRITTEN RECOMMENDATIONS.

DETAIL INDICATORS ARE TYPICAL FOR ALL SIMILAR LOCATIONS AND CONDITIONS.

THE CONTRACTOR SHALL EXTEND ALL CURBS, VENTS AND FLUES AS REQUIRED TO PROVIDE MINIMUM FLASHING HEIGHT OF 12" ABOVE MEMBRANE SURFACE OR AS NOTED IN SPECIFIC DETAIL.

THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE RESTORATION OF ALL AREAS DISTURBED AS A RESULT OF HIS WORK. THE CONTRACTOR SHALL PROPERLY REPAIR ALL LAWNS, WALKS AND DRIVES WHICH AS DISTURBED/DAMAGED AS A RESULT OF THEIR WORK.

THE CONTRACTOR SHALL PROVIDE ALL WOOD BLOCKING SHOWN OR AS REQ'D TO COMPLETE THE PROJECT.

THE CONTRACTOR SHALL PROVIDE ALL DIRECTIONAL CRICKETS REQ'D WITH THE MATERIAL AT TWICE THE SLOPE OF ROOF FIELD OR GREATER TO ENSURE POSITIVE DRAINAGE AT ALL EQUIPMENT LOCATIONS.

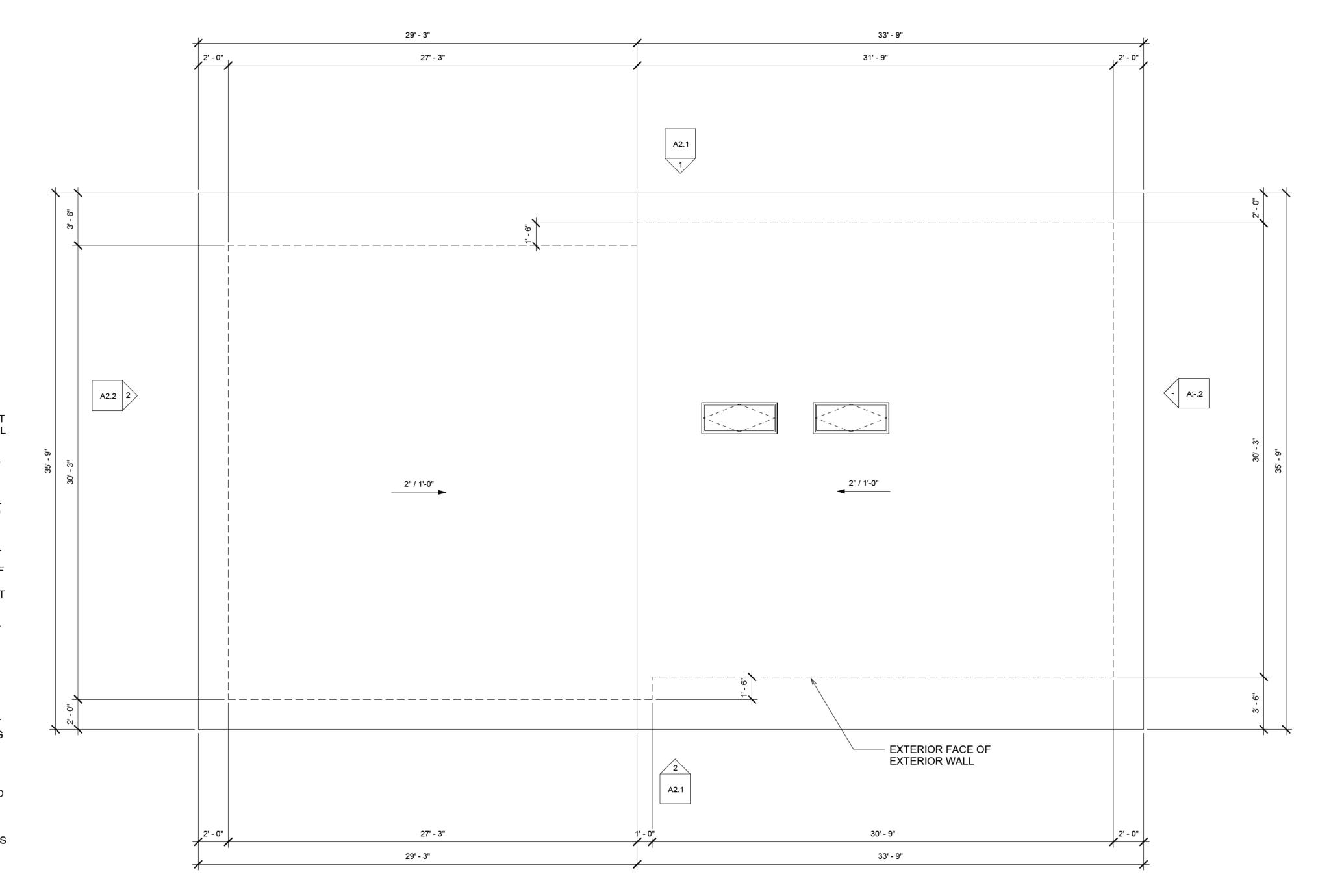
THE CONTRACTOR SHALL MAKE EVERY EFFORT TO AVOID LOCATING SCUPPERS OVER WINDOWS, DOORS, OR WALKWAYS.

THE CONTRACTOR SHALL LIMIT CONSTRUCTION LOADS TO 50psf.

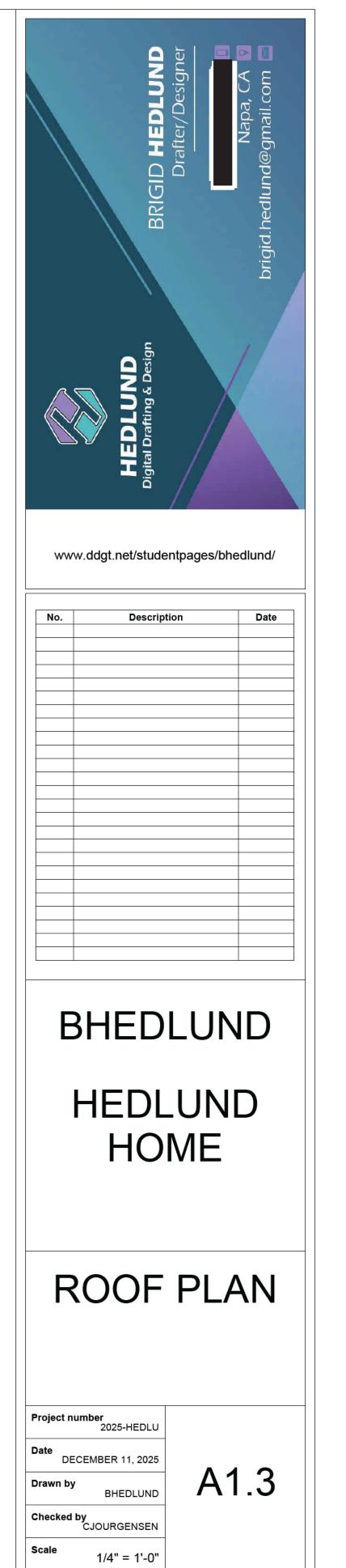
ELECTRICAL EQUIPMENT; DISCONNECT ELECTRICAL CONNECTION TO EXISTING EQUIPMENT. BRANCH CIRCUIT IS EXISTING TO REMAIN, RECONNECT TO EXISTING EQUIPMENT. EXTEND WIRE & CONDUIT AS REQUIRED, MATCH EXISTING SIZE AND TYPE. ALL WORK TO BE PERFORMED IN ACCORDANCE WITH NE (NFPA 70)

SEE MECHANICAL/PLUMBING DRAWINGS FOR EXACT EQUIPMENT PLACEMENT. EQUIPMENT SHOWN IS FOR COORDINATION ONLY.

MECHANICAL AND PLUMBING TO PROVIDE ALL THEIR OWN CURBS UNLESS OTHERWISE NOTED.



ROOF







No.	Description	Date

BHEDLUND

HEDLUND HOME

FLOOR 1 & 2 FURNITURE PLAN

Project number
2025-HEDLU

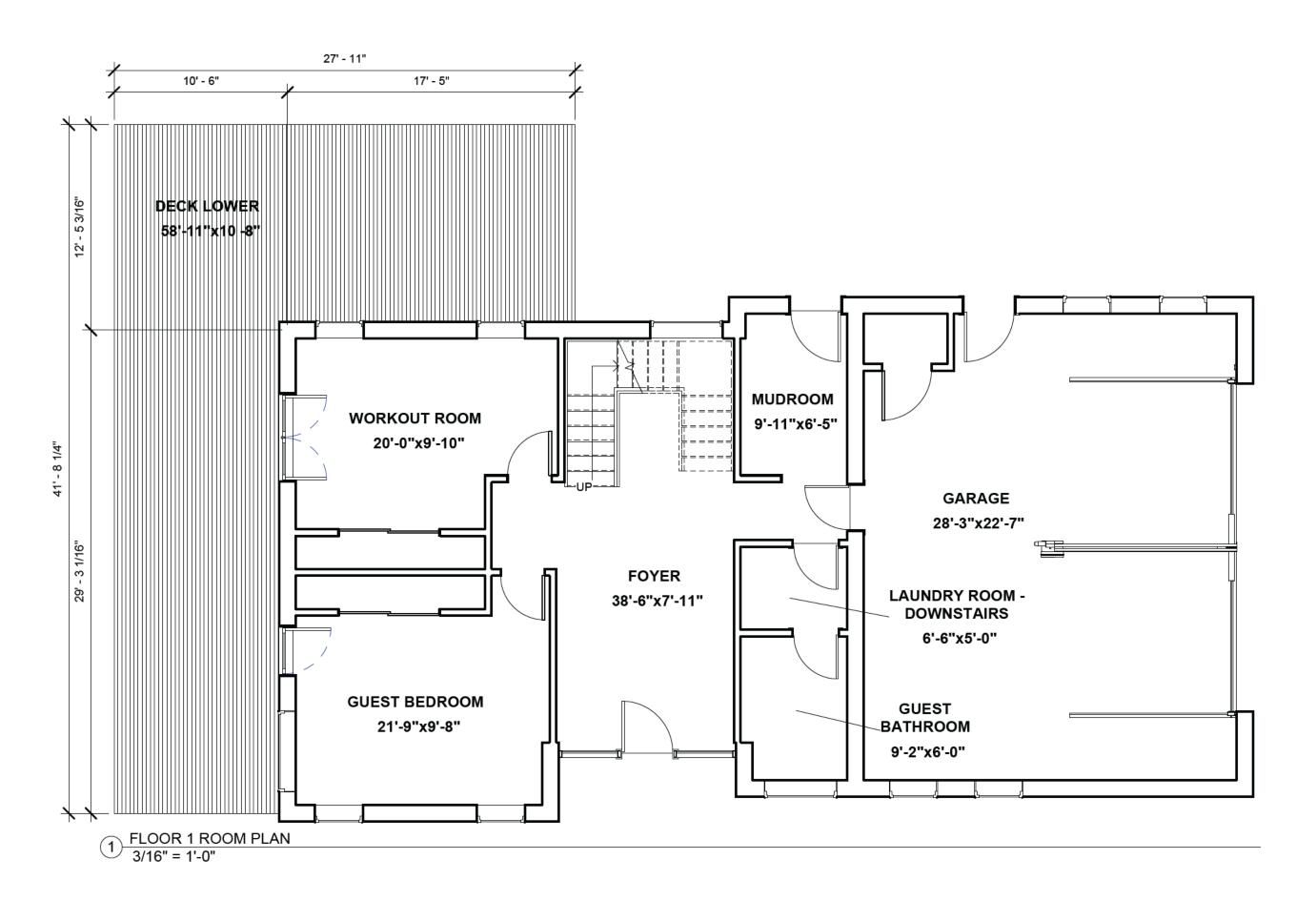
Date
DECEMBER 11, 2025

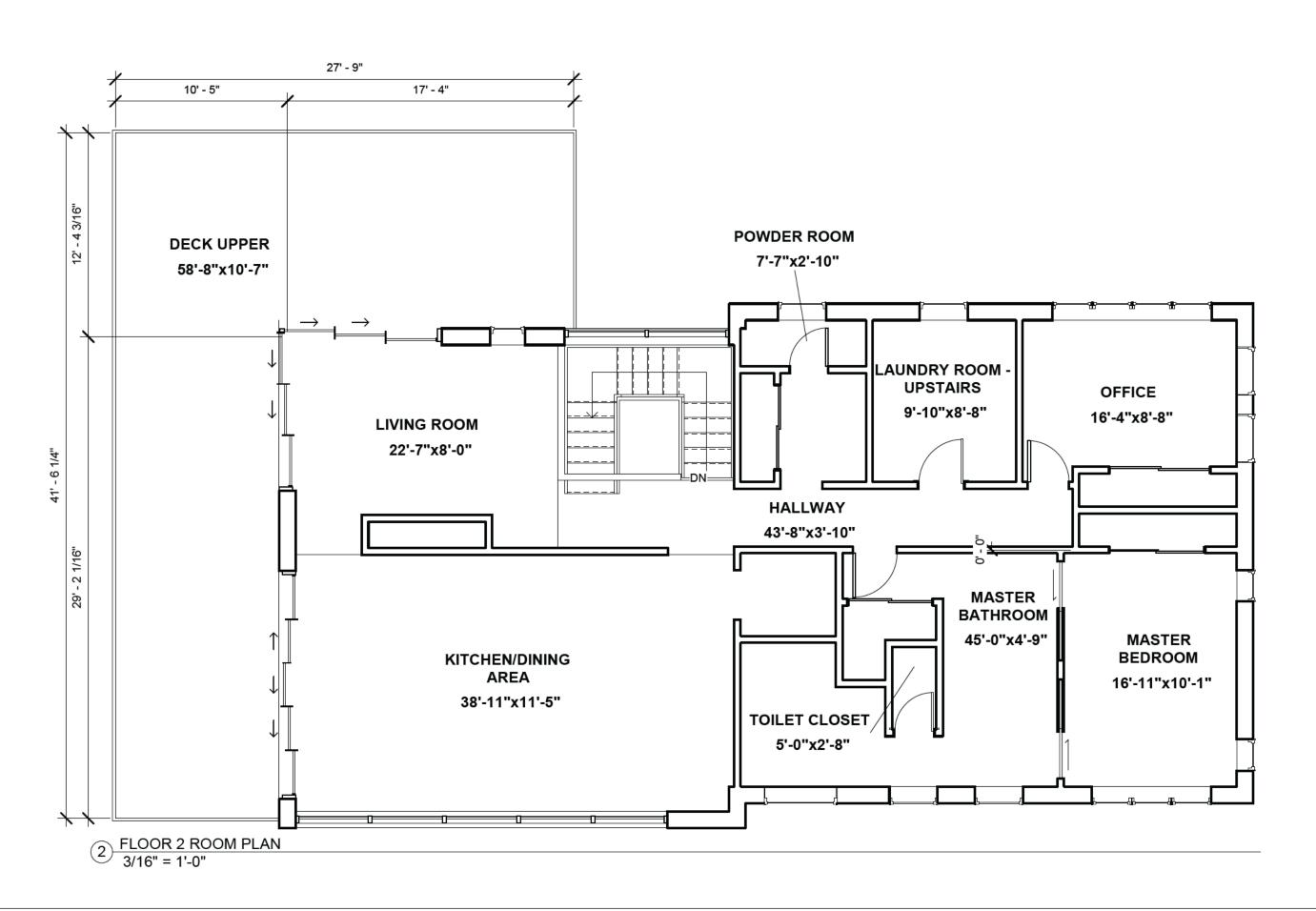
Drawn by
BHEDLUND

Checked by
CJOURGENSEN

1/4" = 1'-0"

A1.4





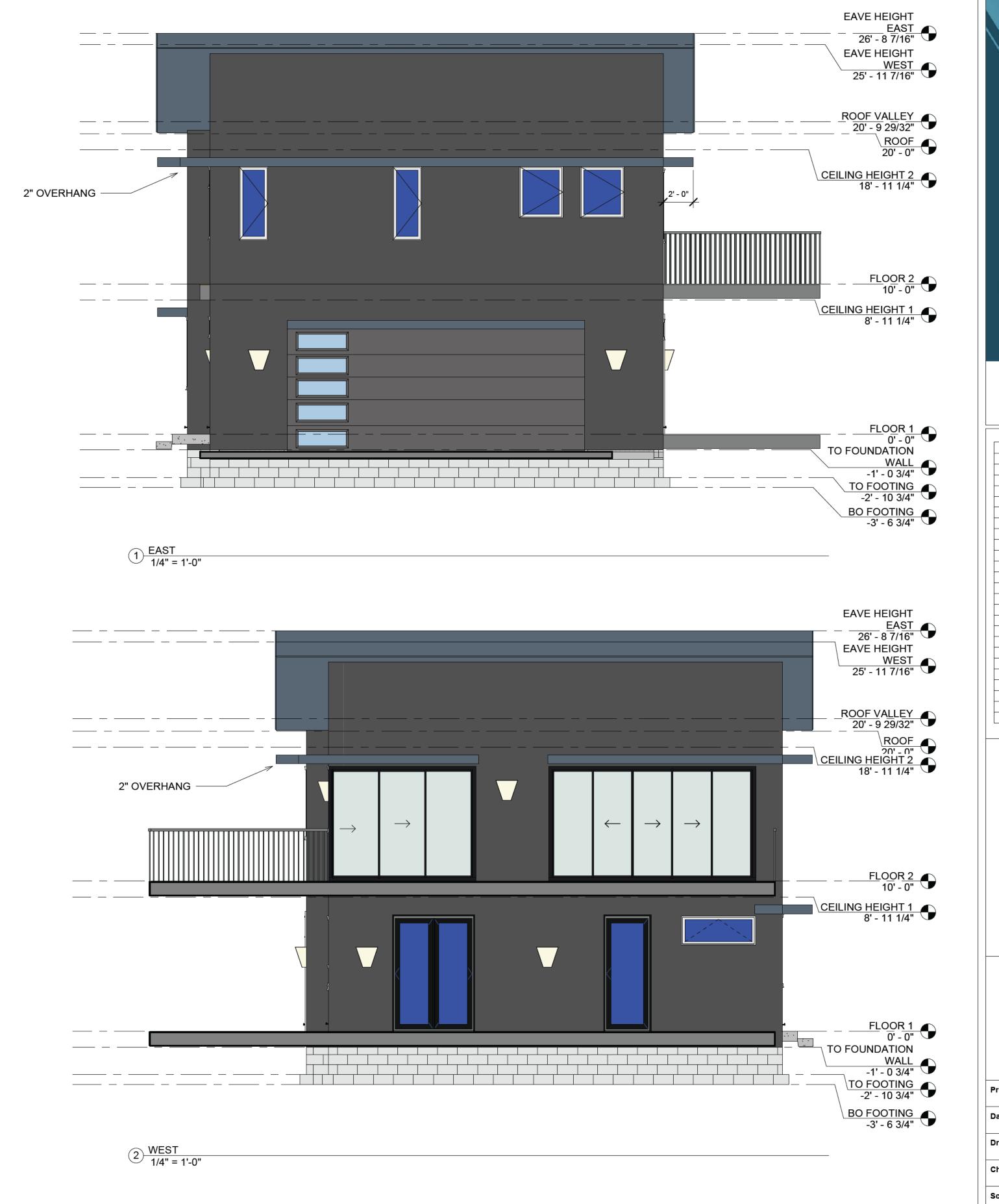


BHEDLUND HEDLUND HOME

FLOOR 1 & 2 ROOM PLAN

Project n	umber 2025-HEDLU	
Date DE	ECEMBER 11, 2025	
Drawn by	BHEDLUND	A1
Checked	by CJOURGENSEN	
Scale	3/16" = 1'-0"	







www.ddgt.net/studentpages/bhedlund/

No.	Description	Date
		I

BHEDLUND

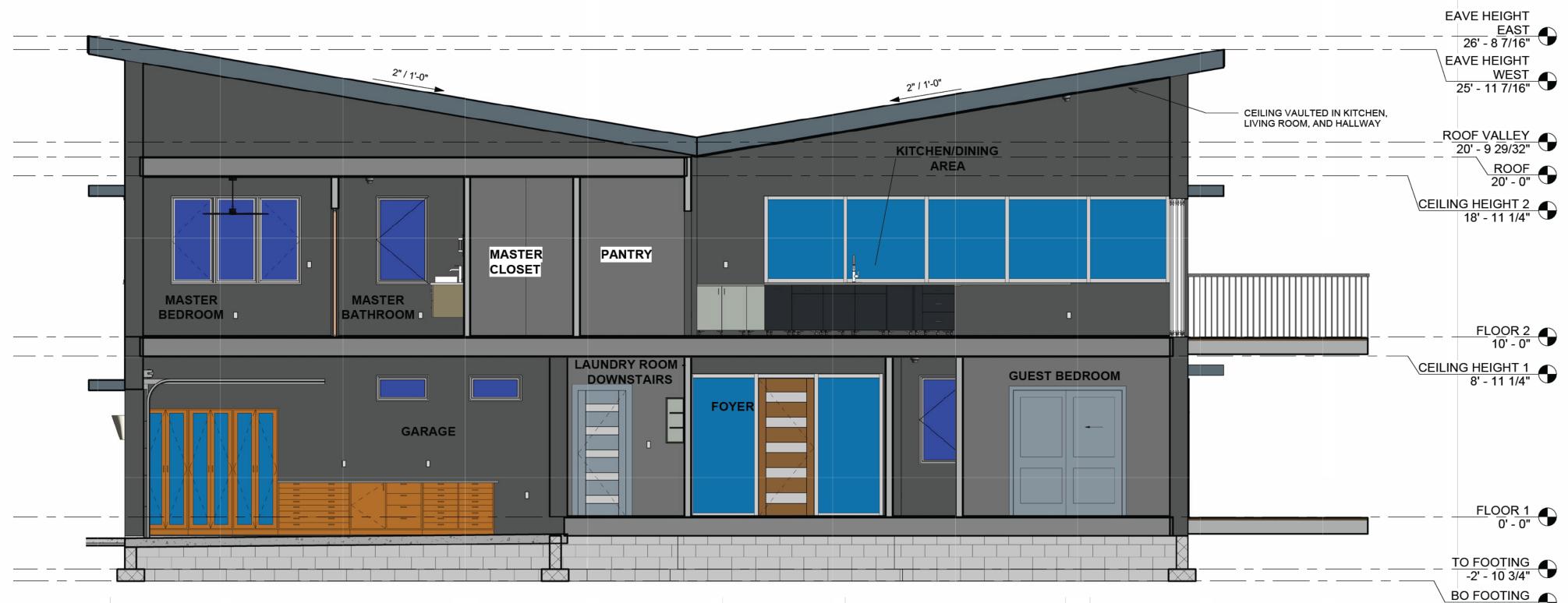
HEDLUND HOME

ELEVATION EAST/WEST

Project number 2025-HEDLU Date DECEMBER 11, 2025 Drawn by BHEDLUND Checked by CJOURGENSEN

1/4" = 1'-0"

A2.2



1 SECTION VIEW NORTH/SOUTH

MFG FOR SPECS).

GENERAL STRUCTURAL SECTION NOTES

51/2" INSULATION TO ALL INT. & EXT. WALLS

EXT. WALL FINISH 3 COAT STUCCO SYS (SEE

3/4" DRY WALL TO ALL INTERIOR WALLS & GARAGE.

TEXTURE COAT ALL INT. WALLS AND

PRIME ALL INTERIOR WALLS.

DETERMINED BY OWNER.

ROOF PITCH-2/12

ROOF FINISH-METAL

FINAL PAINT COLOR/FINISH TO BE

CEILING WITH MEDIUM KNOCK DOWN FINISH. NO TEXTURE COAT IN GARAGE.

BO FOOTING -3' - 6 3/4"



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BHEDLUND

HEDLUND HOME

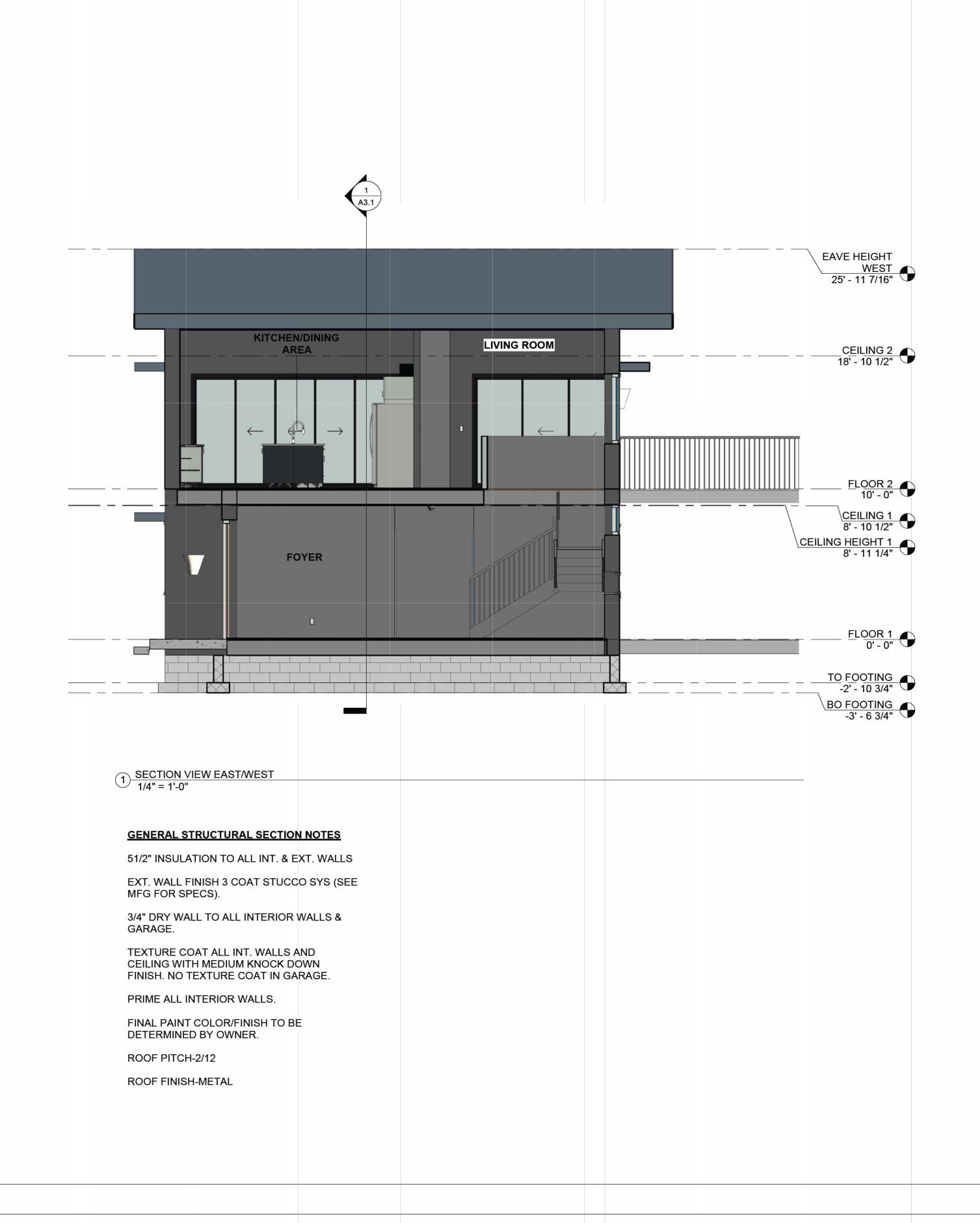
SECTION **VIEW** NORTH/SOUTH

Date DECEMBER 11, 2025 BHEDLUND Checked by CJOURGENSEN

A3.1

Project number 2025-HEDLU

1/4" = 1'-0"





BHEDLUND HEDLUND HOME

SECTION VIEW EAST/WEST

Project number
2025-HEDLU

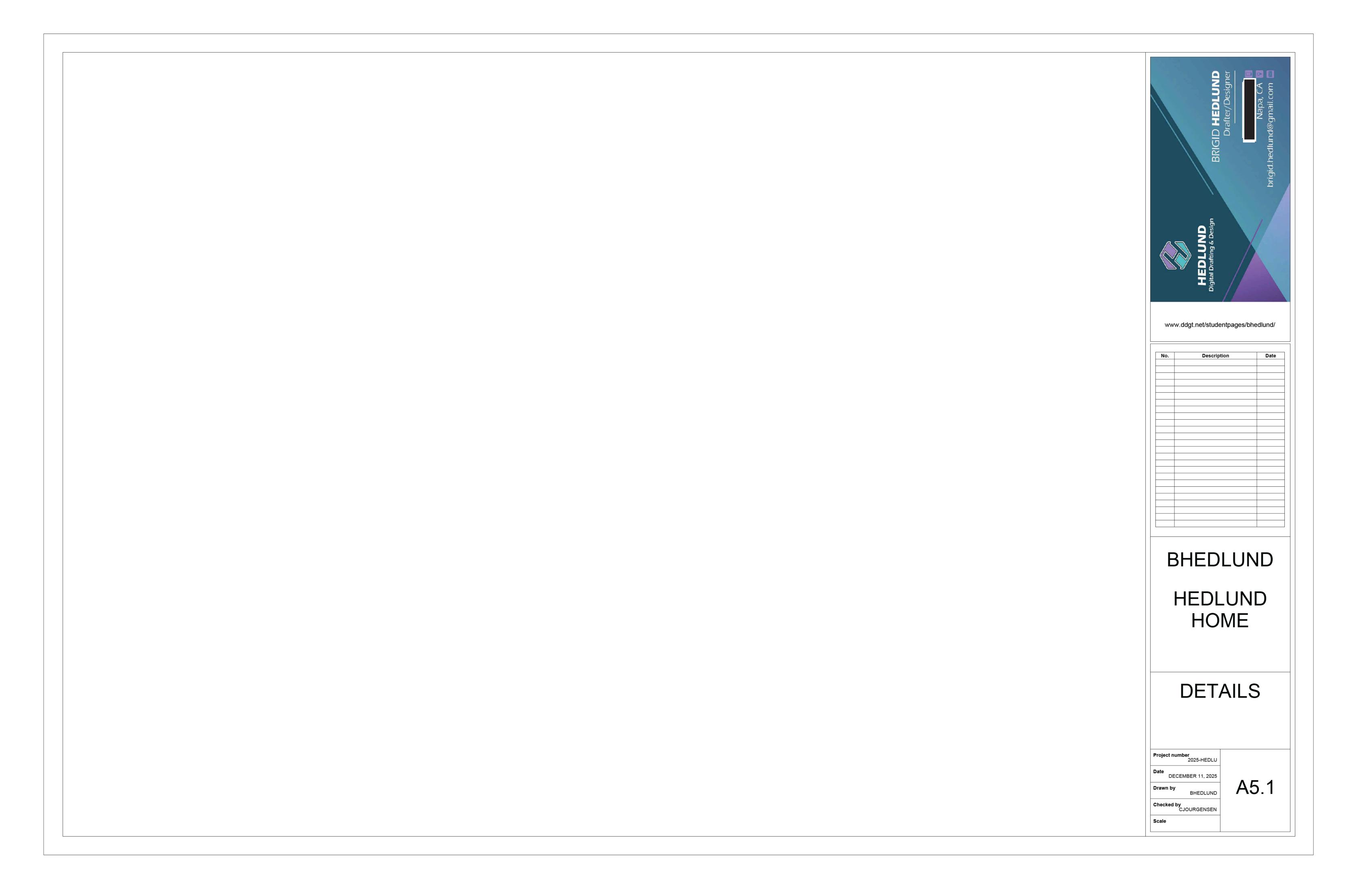
Date
DECEMBER 11, 2025

Drawn by
BHEDLUND

Checked by
CJOURGENSEN

1/4" = 1'-0"

A3.2



		DOOD	SCHE)	
		DOOR		JULE	
LEVEL	MARK	FAMILY	HEIGHT	WIDTH	Туре
FLOOR 1	1	Door-TruStile_Doors-TM5100_FRAMELESS CORRECT	7' - 8"	3' - 1"	36" x 92"
FLOOR 1	2	Door-TruStile_Doors-TM9000	7' - 0"	2' - 8"	32" x 84"
FLOOR 1	3	Door-TruStile_Doors-TM5100	7' - 8"	3' - 0"	36" x 92" 1 3/4" THICK
FLOOR 1	4	Door-TruStile_Doors-TM9000	7' - 8"	3' - 0"	36" x 92" 1 3/4" THICK
FLOOR 1	5	Single-Flush	7' - 0"	2' - 8"	32" x 84"
FLOOR 1	6	Single-Flush	7' - 0"	2' - 8"	32" x 84"
FLOOR 1	7	Door-TruStile_Doors-TM5100	7' - 0"	2' - 8"	32" x 84"
FLOOR 1	8	Door-TruStile_Doors-TM5100	7' - 0"	2' - 8"	32" x 84"
FLOOR 1	9	Single-Flush	7' - 0"	3' - 0"	36" x 84"
FLOOR 1	10	Door-Hinged_Door-Pella250-Premium-Double_Inswing_with_Sidelights	7' - 8"	5' - 4"	Inswing with Sidelights
FLOOR 1	11	Door-Hinged_Door-Pella250-Premium-Single_Inswing_with_Sidelights	7' - 8"	3' - 0"	Inswing with Sidelights
FLOOR 1	12	Door-Interior-Double-Sliding-2_Panel-Wood	7' - 0"	6' - 0"	72" x 84"
FLOOR 1	13	Door-Interior-Double-Sliding-2_Panel-Wood	7' - 0"	6' - 0"	72" x 84"
FLOOR 1	27	Overhead_Door-CHI-Skyline_Flush-Oversized			2158 - Graphite
FLOOR 2	14	Door-NanaWall-Cero_II-OXX_Corner_XXO	7' - 8"	9' - 10"	Cero_II-OXX_Corner_XXO_Configuration with Higher Weather Performance Sill
FLOOR 2	15	Door-NanaWall-Cero_II-Unit_J	7' - 8"	13' - 10"	Cero_II-Unit_J-OXXXO_Configuration with Higher Weather Performance Sill
FLOOR 2	16	Single-Flush	7' - 0"	2' - 4"	28" x 84"
FLOOR 2	17	Single-Flush	7' - 0"	2' - 8"	32" x 84"
FLOOR 2	17	DoorLeaf_Wooden	7' - 0"	3' - 0"	DoorLeaf_Wooden
FLOOR 2	18	Door-TruStile_Doors-TM5100	7' - 0"	2' - 8"	32" x 84"
FLOOR 2	19	Single-Flush	7' - 0"	2' - 6"	30" x 84"
FLOOR 2	20	Door-TruStile_Doors-TM5100	7' - 0"	2' - 4"	28" x 84"
FLOOR 2	20	DoorLeaf_Wooden	7' - 0"	3' - 0"	DoorLeaf_Wooden
FLOOR 2	21	Sliding_Door-Hawa-Junior_80_B_Pocket	7' - 1 13/16"	2' - 10"	Short Suspension
FLOOR 2	22	Sliding_Door-Hawa-Junior_80_B_Pocket	7' - 1 13/16"	2' - 10"	Short Suspension
FLOOR 2	23	Door-Interior-Double-Sliding-2_Panel-Wood	7' - 0"	5' - 8"	68" x 84"
FLOOR 2	24	Door-Interior-Double-Sliding-2_Panel-Wood	7' - 0"	6' - 0"	72" x 84"
FLOOR 2	25	Door-Interior-Double-Sliding-2_Panel-Wood	7' - 0"	5' - 0"	60" x 84"
FLOOR 2	26	Door-Interior-Double-Sliding-2_Panel-Wood	7' - 0"	5' - 0"	60" x 84"

			WINDOW SCHEDULE		
LEVEL	COUNT	MARK	FAMILY	HEIGHT	WIDTH
				I	
FLOOR 1	1	1	Window-Casement-Pella-Reserve-Vent	4' - 11"	2' - 11"
FLOOR 1	1	2	Window-Casement-Pella-Reserve-Vent	4' - 11"	2' - 11"
FLOOR 1	1	4	Window-Casement-Pella-Reserve-Vent	4' - 11"	2' - 11"
FLOOR 1	1	5	Window-Casement-Pella-Reserve-Vent	4' - 11"	2' - 11"
FLOOR 1	1	7	Window-Awning-Pella-Contemporary-Reserve-Vent	1' - 5"	4' - 5"
FLOOR 1	1	8	Window-Casement-Pella-Reserve-Transom	1' - 5"	2' - 11"
FLOOR 1	1	9	Window-Casement-Pella-Reserve-Transom	1' - 5"	2' - 11"
FLOOR 1	1	18	Window-Casement-Pella-Reserve-Transom	1' - 5"	2' - 11"
FLOOR 1	1	57	Window-Awning-Pella-Contemporary-Reserve-Vent	1' - 11"	4' - 11"
FLOOR 1	1	58	Window-Casement-Pella-Reserve-Transom	1' - 5"	2' - 11"
FLOOR 1	1	69	Window-Awning-Pella-Contemporary-Reserve-Vent	1' - 5"	4' - 5"
FLOOR 2	1	11	Window-Casement-Pella_Reserve_Series-Multi_Wide	4' - 11"	7' - 3"
FLOOR 2	1	12	Window-Casement-Pella-Reserve-Vent	4' - 11"	1' - 11"
FLOOR 2	1	13	Window-Casement-Pella-Reserve-Vent	4' - 11"	1' - 11"
FLOOR 2	1	14	Window-Awning-Pella-Contemporary-Reserve-Vent	1' - 5"	4' - 5"
FLOOR 2	1	15	Window-Casement-Pella-Reserve-Vent	4' - 11"	2' - 11"
FLOOR 2	1	16	Window-Casement-Pella-Reserve-Vent	4' - 11"	2' - 11"
FLOOR 2	1	17	Window-Casement-Pella-Reserve-Vent	4' - 11"	2' - 11"
FLOOR 2	1	26	Window-Casement-Pella-Reserve-Vent	3' - 5"	2' - 11"
FLOOR 2	1	27	Window-Casement-Pella-Reserve-Vent	3' - 5"	2' - 11"
FLOOR 2	1	44	Window-Casement-Pella-Reserve-Vent	4' - 11"	2' - 11"
FLOOR 2	1	59	Window-Casement-Pella_Reserve_Series-Multi_Wide	4' - 11"	9' - 8"
FLOOR 2	1	60	Window-Casement-Pella-Reserve-Vent	4' - 5"	2' - 1"
ROOF	1	66	Skylight-Pivot-Hung	2' - 0"	5' - 0"
ROOF	1	68	Skylight-Pivot-Hung	2' - 0"	5' - 0"

CURTAIN WALL (PANELS AND MULLIONS) INDICATED A1.1 AND A1.2 WITH "A" TAG

	CURTAIN PANEL SCHEDULE					
Count	Family	Width	Height	Туре		
1	System Panel	4' - 8 1/32"	1' - 7 1/4"	Glazed		
1	System Panel	3' - 4 3/4"	7' - 5 3/4"	Glazed		
1	System Panel	3' - 4 3/4"	7' - 5 3/4"	Glazed		
1	Basic Wall	3' - 1 1/2"	7' - 8 1/4"	SPACER-CURTAIN WALL FRONT DOOR		
1	System Panel	4' - 8 1/32"	1' - 7 1/4"	Glazed		
1	System Panel	4' - 8 1/32"	4' - 3"	Glazed		
1	System Panel	4' - 8 1/32"	4' - 3"	Glazed		
1	System Panel	4' - 2 9/32"	4' - 5"	Glazed		
1	System Panel	4' - 3 17/32"	4' - 5"	Glazed		
1	System Panel	4' - 3 17/32"	4' - 5"	Glazed		
1	System Panel	4' - 3 17/32"	4' - 5"	Glazed		
1	System Panel	4' - 2 9/32"	4' - 5"	Glazed		

CURTAIN WALL MULLION SCHEDULE						
COUNT	FAMILY	LENGTH	TYPE			
1	Rectangular Mullion	4' - 8 1/32"	2.5" x 5" rectangular			
1	Rectangular Mullion	4' - 9 9/32"	2.5" x 5" rectangular			
1	_	2' - 0 1/4"				
	Rectangular Mullion	2' - 0 1/4"	2.5" x 5" rectangular			
1 1	Rectangular Mullion	3' - 4 3/4"	2.5" x 5" rectangular			
1	Rectangular Mullion	3' - 4 3/4"	2.5" x 5" rectangular			
1	Rectangular Mullion	7' - 9 1/2"	2.5" x 5" rectangular			
1	Rectangular Mullion	0' - 1 1/2"	2.5" x 5" rectangular			
1	Rectangular Mullion Rectangular Mullion	3' - 4 3/4"	2.5" x 5" rectangular			
1	•	3' - 1 1/2"	2.5" x 5" rectangular 2.5" x 5" rectangular			
	Rectangular Mullion					
1	Rectangular Mullion	3' - 4 3/4"	2.5" x 5" rectangular			
1	Rectangular Mullion	0' - 1 1/2"	2.5" x 5" rectangular			
1	Rectangular Mullion	7' - 9 1/2" 3' - 4 3/4"	2.5" x 5" rectangular			
	Rectangular Mullion		2.5" x 5" rectangular			
1	Rectangular Mullion	3' - 1 1/2"	2.5" x 5" rectangular			
1	Rectangular Mullion	3' - 4 3/4"	2.5" x 5" rectangular			
1	Rectangular Mullion	7' - 9 1/2"	2.5" x 5" rectangular			
1	Rectangular Mullion	7' - 9 1/2"	2.5" x 5" rectangular			
1	Rectangular Mullion	0' - 1 1/2"	2.5" x 5" rectangular			
1	Rectangular Mullion	0' - 1 1/2"	2.5" x 5" rectangular			
1	Rectangular Mullion	4' - 9 9/32"	2.5" x 5" rectangular			
1	Rectangular Mullion	4' - 8 1/32"	2.5" x 5" rectangular			
1	Rectangular Mullion	1' - 9 3/4"	2.5" x 5" rectangular			
1	Rectangular Mullion	4' - 8 1/32"	2.5" x 5" rectangular			
1	Rectangular Mullion	4' - 8 1/32"	2.5" x 5" rectangular			
1	Rectangular Mullion	4' - 8 1/32"	2.5" x 5" rectangular			
1	Rectangular Mullion	4' - 8 1/32"	2.5" x 5" rectangular			
1	Rectangular Mullion	4' - 8"	2.5" x 5" rectangular			
1	Rectangular Mullion	4' - 8"	2.5" x 5" rectangular			
1	Rectangular Mullion	4' - 8"	2.5" x 5" rectangular			
1	Rectangular Mullion	4' - 2 9/32"	2.5" x 5" rectangular			
1	Rectangular Mullion	4' - 2 9/32"	2.5" x 5" rectangular			
1	Rectangular Mullion	4' - 3 17/32"	2.5" x 5" rectangular			
1	Rectangular Mullion	4' - 3 17/32"	2.5" x 5" rectangular			
1	Rectangular Mullion	4' - 3 17/32"	2.5" x 5" rectangular			
1	Rectangular Mullion	4' - 2 9/32"	2.5" x 5" rectangular			
1	Rectangular Mullion	4' - 3 17/32"	2.5" x 5" rectangular			
1	Rectangular Mullion	4' - 3 17/32"	2.5" x 5" rectangular			
1	Rectangular Mullion	4' - 3 17/32"	2.5" x 5" rectangular			
1	Rectangular Mullion	4' - 2 9/32"	2.5" x 5" rectangular			
1	Rectangular Mullion	4' - 10"	2.5" x 5" rectangular			
1	Rectangular Mullion	4' - 10"	2.5" x 5" rectangular			
1	Rectangular Mullion	4' - 10"	2.5" x 5" rectangular			
1	Rectangular Mullion	4' - 10"	2.5" x 5" rectangular			
1	Rectangular Mullion Rectangular Mullion	4' - 10" 4' - 10"	2.5" x 5" rectangular 2.5" x 5" rectangular			



No. Description Date

BHEDLUND HEDLUND HOME

SCHEDULES

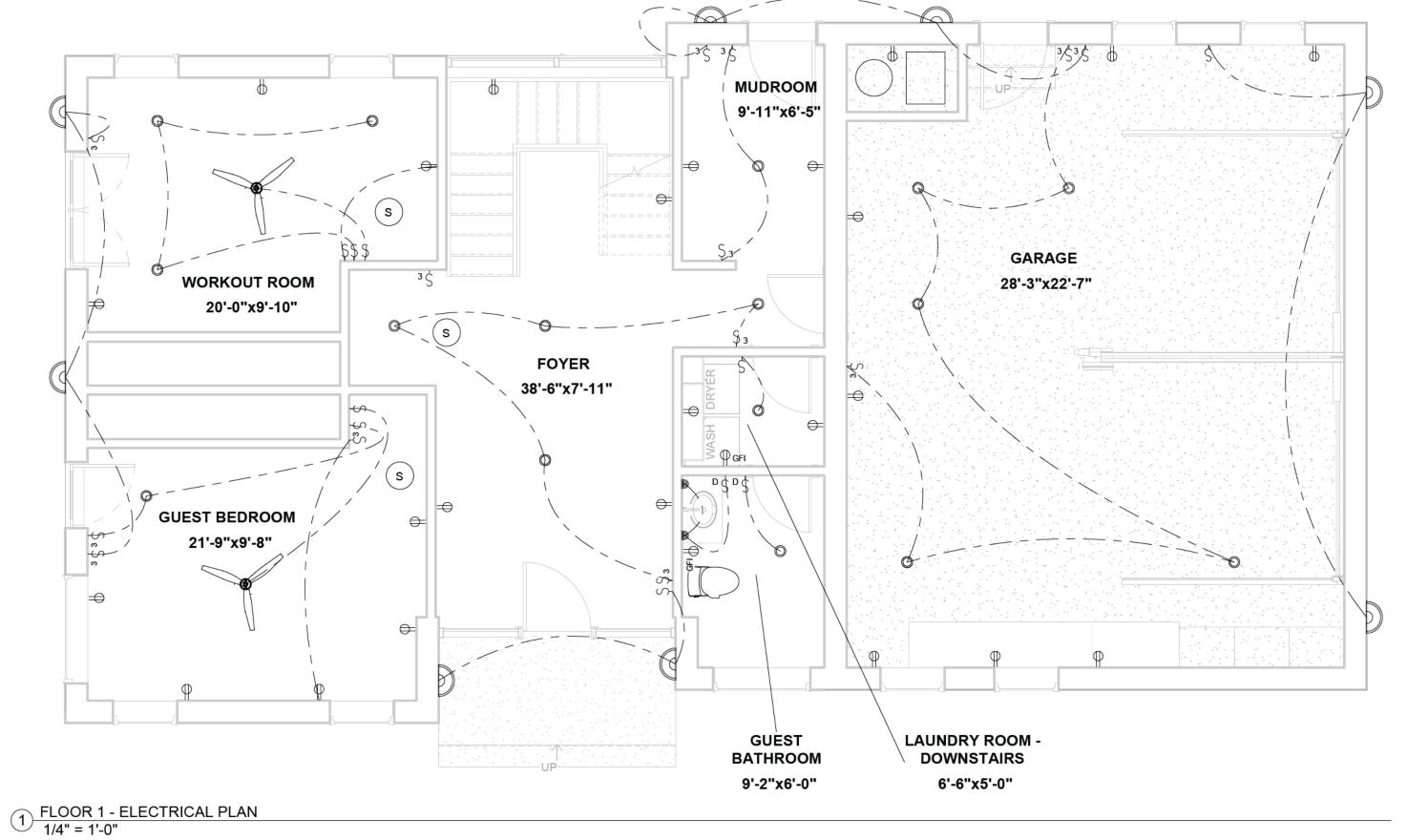
Project number
2025-HEDLU

Date
DECEMBER 11, 2025

Drawn by
BHEDLUND

Checked by
CJOURGENSEN

A6.1



1/4" = 1'-0"

KEY:

WASH WASHER



BHEDLUND HEDLUND HOME

FLOOR 1 ELECTRICAL PLAN

Project number
2025-HEDLU

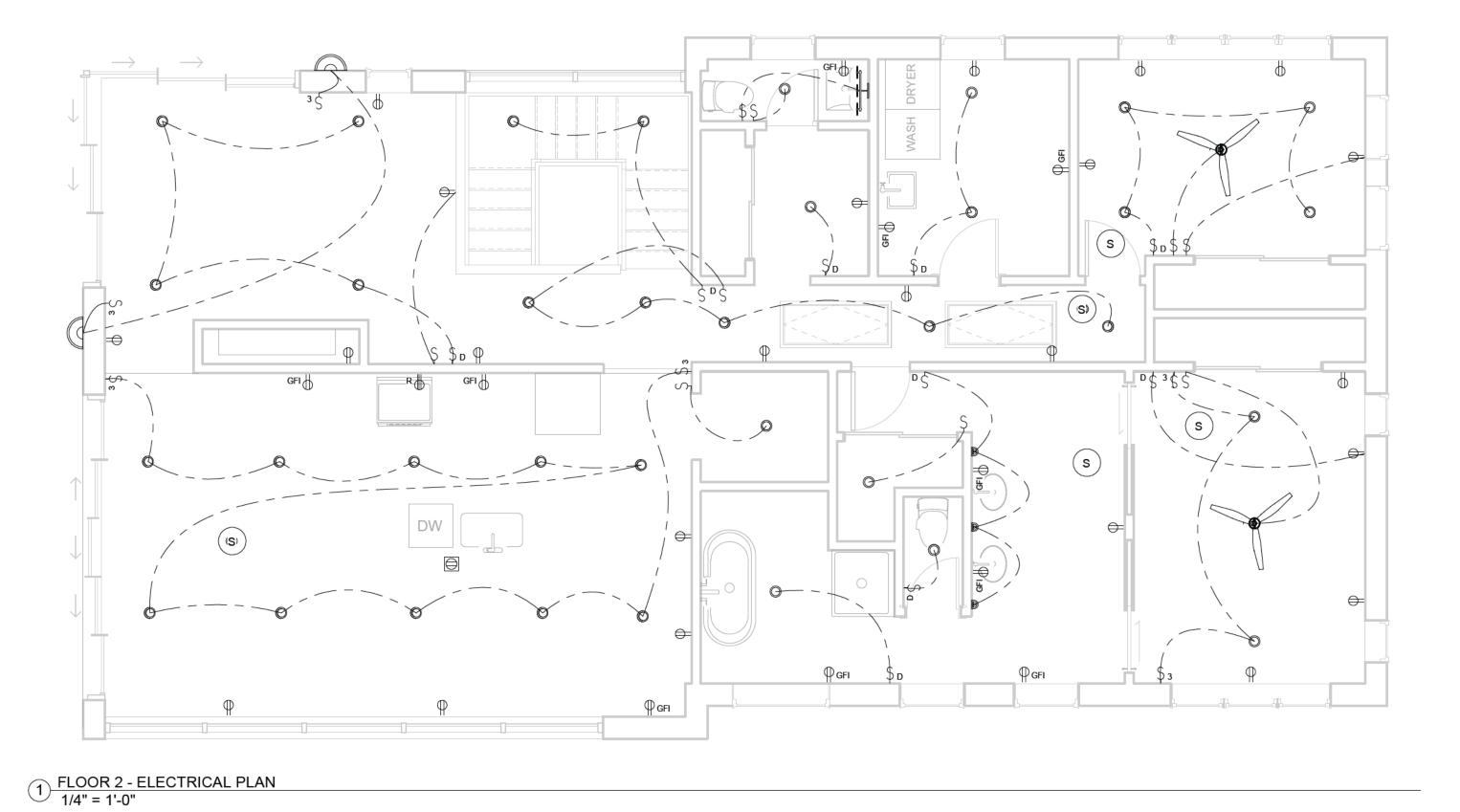
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DECEMBER 11, 2025

Drawn by
BHEDLUND

Checked by
CJOURGENSEN

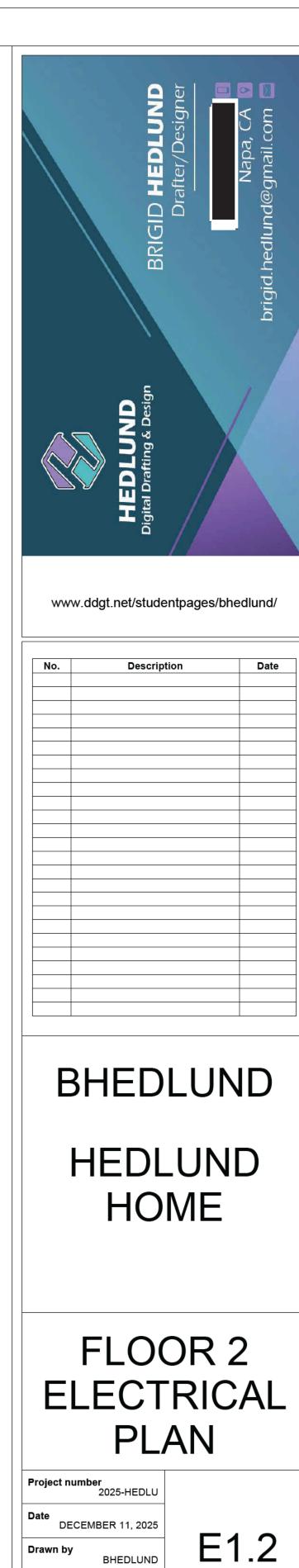
1/4" = 1'-0"

E1.1

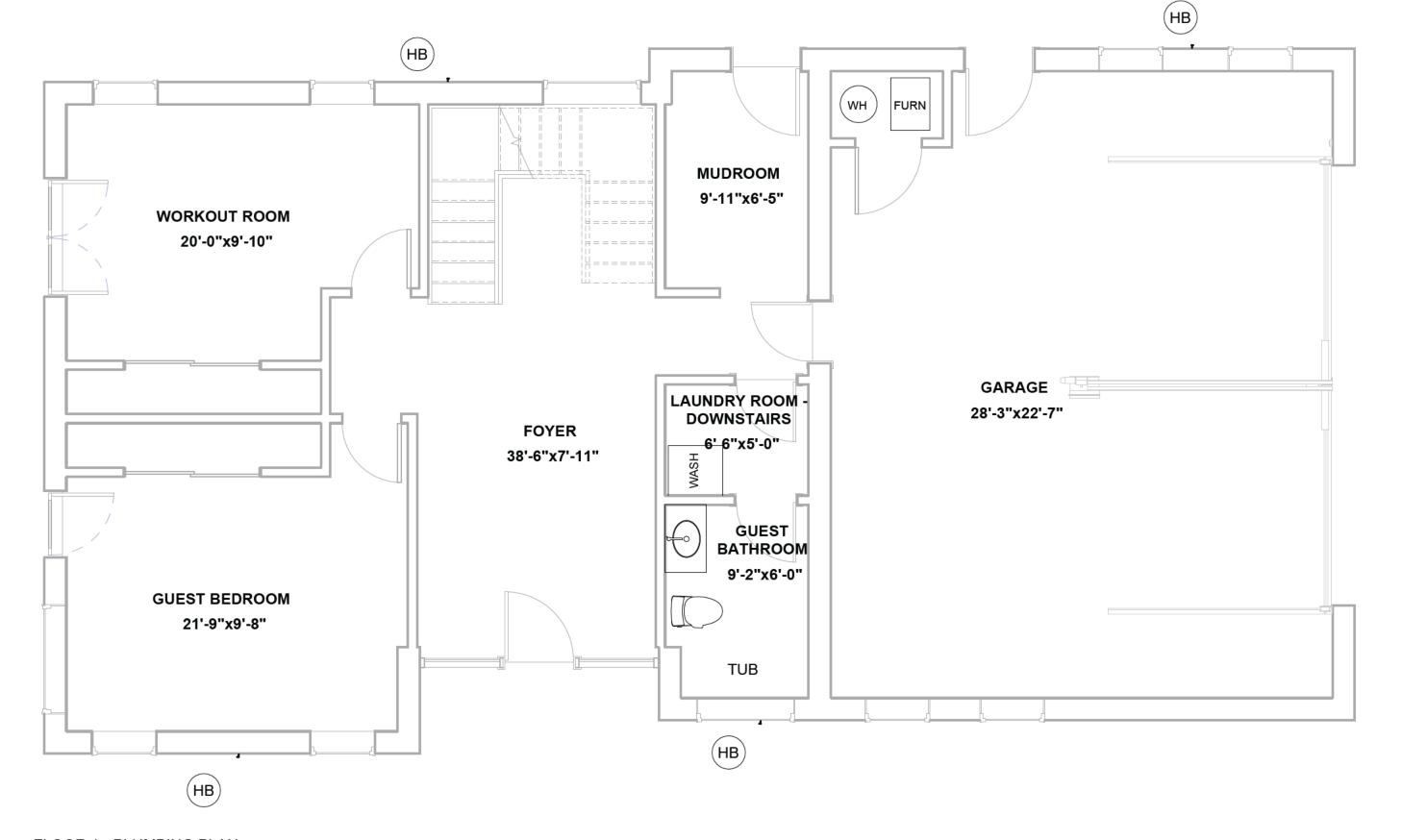


KEY:

DW DISHWASHER WASH WASHER



1/4" = 1'-0"



1) FLOOR 1 - PLUMBING PLAN 1/4" = 1'-0"

KEY

FURN FURNACE
HB HOSE BIB
WASH WASHER
WH WATER HEATER



BHEDLUND

HEDLUND HOME

FLOOR 1 PLUMBING PLAN

Date
DECEMBER 11, 2025

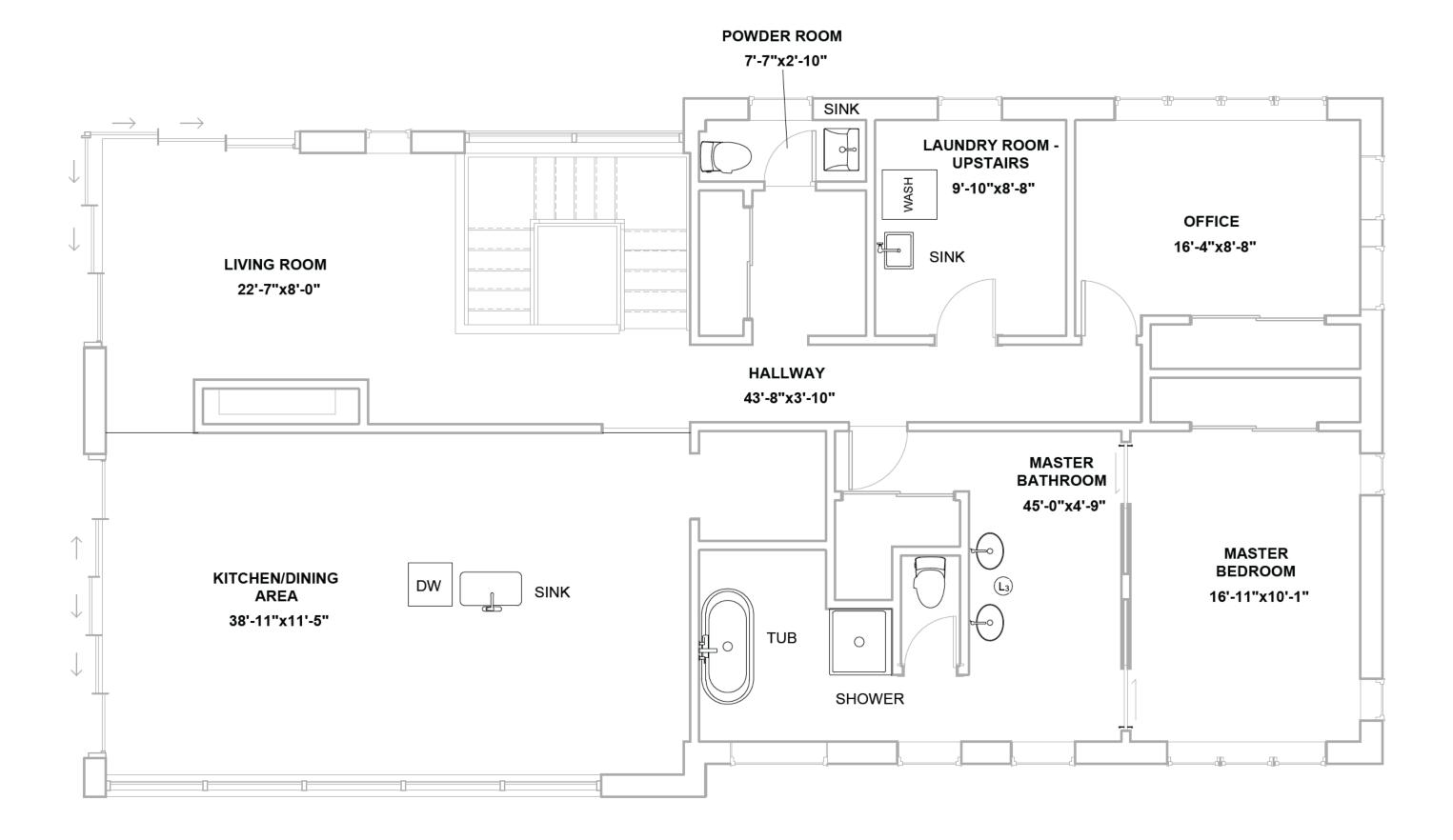
Drawn by
BHEDLUND

P1.

BHEDLUND

Checked by
CJOURGENSEN

1/4" = 1'-0"



1 FLOOR 2 - PLUMBING PLAN 1/4" = 1'-0"

KEY

DW DISH WASHER
FURN FURNACE
HB HOSE BIB
WASH WASHER
WH WATER HEATER



FLOOR 2 PLUMBING PLAN

Date
DECEMBER 11, 2025

Drawn by
BHEDLUND

P1.2

Checked by
CJOURGENSEN

Scale

1/4" = 1'-0"