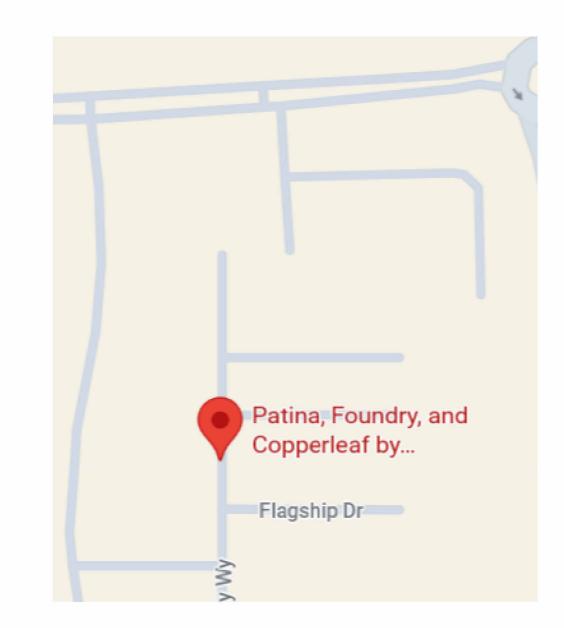
# PAUL BELL PROJECT



**LOCATION** 

324 Goldenstar Wy, Napa, CA 94558

#### **GENERAL NOTES**

THESE PLANS ARE THE PROPERTY OF <insert your full First & Last name> AND ARE NOT TO BE USED FOR ANY OTHER WORK OTHER THAN THE LOCATION SHOWN HEREON.

THE GENERAL CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND SITE CONDITIONS PRIOR TO STARTING WORK AND SHALL NOTIFY THE DESIGNER OF ANY DISCREPANCY.

ALL MATERIAL AND WORKMANSHIP SHALL CONFORM TO THE LATEST EDITION OF THE UNIFORM BUILDING CODE. ALL APPLICABLE LOCAL AND STATE CODES, ORDINANCES AND REGULATIONS SHALL BE COMPLIED WITH. IT IS THE RESPONSIBILITY OF ANYONE SUPPLYING LABOR OR MATERIALS OR BOTH TO BRING TO THE ATTENTION OF THE DESIGNER AND THE OWNER ANY DISCREPANCIES OR CONFLICT BETWEEN THE REQUIREMENTS OF THE CODE AND THE DRAWINGS.

THE DESIGN, ADEQUACY AND SAFETY OF ERECTION, BRACING, SHORING, TEMPORARY SUPPORTS, ETC., IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR, AND HAS NOT BEEN CONSIDERED BY THE STRUCTURAL ENGINEER. THE GENERAL CONTRACTOR IS RESPONSIBLE FOR THE STABILITY OF THE STRUCTURE PRIOR TO THE APPLICATION OF THE SHEAR WALLS, ROOF AND FLOOR DIAPHRAGMS AND FINISH MATERIALS. HE OR SHE SHALL PROVIDE THE NECESSARY BRACING TO PROVIDE STABILITY PRIOR TO THE APPLICATION OF THE AFOREMENTIONED MATERIALS. OBSERVATION VISITS TO THE SITE BY THE DESIGNER AND STRUCTURAL ENGINEER SHALL NOT INCLUDE INSPECTION OR APPROVAL OF THE ABOVE

VIBRATIONAL EFFECTS OF MECHANICAL EQUIPMENT HAVE NOT BEEN CONSIDERED BY THE STRUCTURAL ENGINEER.

CONCRETE SLAB ON GRADE HAS NOT BEEN DESIGNED BY THE STRUCTURAL ENGINEER UNLESS SPECIFICALLY DETAILED ON THE DRAWINGS.

IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO LOCATE ALL EXISTING UTILITIES WHETHER SHOWN HEREON OR NOT AND TO PROTECT THEM FROM DAMAGE.

THE DESIGNER SHALL BE NOTIFIED IMMEDIATELY BY THE CONTRACTOR SHOULD ANY DISCREPANCY OR OTHER QUESTION ARISE PERTAINING TO THE WORK DRAWINGS.

REFER TO THE STRUCTURAL CALCULATIONS FOR ANY QUESTIONS REGARDING LUMBER GRADES, BEAM AND HEADER SIZES, FOOTINGS AND SHEAR WALL REQUIREMENTS.

REFER TO SOILS REPORT FOR ANY QUESTIONS REGARDING SOIL REQUIREMENTS.

ON-SITE VERIFICATION OF ALL DIMENSIONS AND CONDITIONS HALL BE THE RESPONSIBILITY OF THE CONTRACTOR AND HIS OR HER SUBCONTRACTORS, NOTED DIMENSIONS TAKE PRECEDENCE OVER SCALED DIMENSIONS.

NO FRAMING OF ANY TYPE SHALL BE CONCEALED PRIOR TO INSPECTION BY GOVERNING AGENCIES.

GRADING AND DRAINAGE: ALL PAVING, FLAT WORK AND PLANTERS NEXT TO BUILDING SHALL BE PROPERLY GRADED TO CARRY WATER AWAY FROM BUILDINGS.

NO CHANGES ARE TO BE MADE TO THESE PLANS WITHOUT THE KNOWLEDGE OR CONSENT OF THE DESIGNER/ENGINEER WHOSE SIGNATURE APPEARS HEREON.

ALL OF THE A.S.T.M. DESIGNATIONS ARE TO BE OF THE LATEST EDITION.

CONTRACTOR SHALL CHECK AND VERIFY SIZE AND LOCATION OF ELECTRICAL SERVICES BEFORE THE BEGINNING OF CONSTRUCTION.

THE CONTRACTOR SHALL BE HELD RESPONSIBLE FOR THE RESULTS OF ERRORS, DISCREPANCIES OR OMISSIONS WHICH THE CONTRACTOR FAILED TO NOTIFY THE DESIGNER OR ENGINEER OF BEFORE CONSTRUCTION AND/OR FABRICATION OF THE WORK.

NO DEVIATIONS FROM THE STRUCTURAL DETAILS SHALL BE MADE WITHOUT THE WRITTEN APPROVAL OF THE STRUCTURAL ENGINEER. APPROVAL BY PROJECT INSPECTOR DOES NOT CONSTITUTE AUTHORITY TO DEVIATE FROM PLANS OR SPECIFICATIONS.

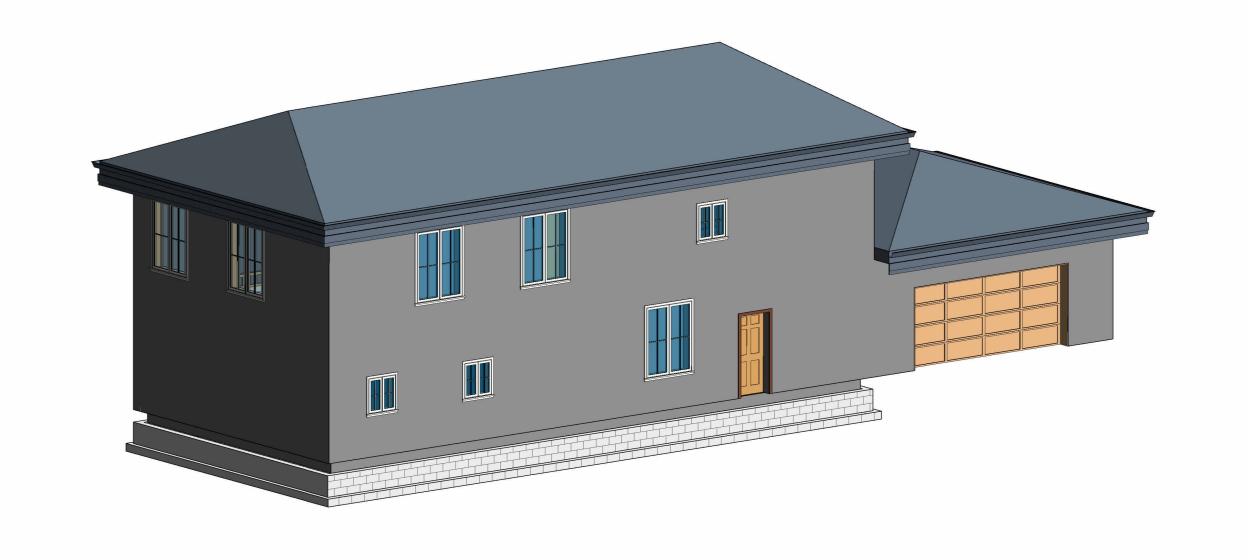
THE CONTRACTOR WARRANTS TO THE OWNER AND DESIGNER THAT HE OR SHE POSSESSES THE PARTICULAR COMPETENCE AND SKILL IN CONSTRUCTION NECESSARY TO BUILD THIS PROJECT WITHOUT FULL ENGINEERING AND ARCHITECTURAL SERVICES AND FOR THE REASON THAT THE CONTRACTOR WISHES TO RELY UPON HIS OR HER OWN COMPETENCE, THE CONTRACTOR OR OWNER HAS RESTRICTED THE DESIGNER'S SCOPE OF PROFESSIONAL SERVICES. THE CONSTRUCTION DOCUMENTS PROVIDED BY THE LIMITED SERVICES SHALL BE TERMED "BUILDERS PLANS" IN RECOGNITION OF THE CONTRACTOR'S SOPHISTICATION. CONSTRUCTION WILL REQUIRE THAT THE CONTRACTOR ADAPT THE "BUILDERS PLANS" TO THE FIELD CONDITIONS ENCOUNTERED, AND MAKE LOGICAL ADJUSTMENTS IN FIT, FORM, DIMENSION, AND QUANTITY THAT ARE TREATED ONLY GENERALLY BY THE "BUILDERS PLANS". IN THE EVENT ADDITIONAL DETAIL OR GUIDANCE IS NEEDED BY THE CONTRACTOR OR OWNER FOR CONSTRUCTION OF ANY ASPECT OF THE PROJECT, HE OR SHE SHALL IMMEDIATELY NOTIFY THE DESIGNER.

RELEASE OF THE PLANS CONTEMPLATES FURTHER COOPERATION AMONG THE OWNERS, THEIR CONTRACTOR, AND THE DESIGNER. DESIGN AND CONSTRUCTION ARE COMPLEX, ALTHOUGH THE DESIGNER AND HIS/HER CONSULTANTS HAVE PERFORMED THEIR SERVICES WITH DUE CARE AND DILIGENCE, THEY CANNOT GUARANTEE PERFECTION. COMMUNICATION IS IMPERFECT AND EVERY CONTINGENCY CANNOT BE ANTICIPATED. ANY AMBIGUITY OR DISCREPANCY DISCOVERED BY USE OF THESE PLANS SHALL BE REPORTED IMMEDIATELY TO THE DESIGNER. FAILURE TO NOTIFY THE DESIGNER COMPOUNDS MISUNDERSTANDING AND INCREASE CONSTRUCTION COSTS. A FAILURE TO COOPERATE BY A SIMPLE NOTICE TO THE DESIGNER REGARDING THESE ISSUES SHALL RELIEVER THE DESIGNER FROM RESPONSIBILITY FOR ALL CONSEQUENCES.

ALL REQUIRED PERMITS, SEPARATE PERMITS [PLUMBING, ELECTRICAL, ETC.] SHALL BE OBTAINED PRIOR TO COMMENCING WORK OF THAT TRADE.

ADJACENT PROPERTY OWNERS SHALL BE NOTIFIED 30 DAYS PRIOR TO CONSTRUCTION.

General notes derived from Shawn Carney Instructor @ Solano Community College



51/2" INSULATION TO ALL INT. & EXT. WALLS

EXT. WALL FINISH 3 COAT STUCCO SYS (SEE MFG FOR SPECS).

3/4" DRY WALL TO ALL INTERIOR WALLS & GARAGE.

TEXTURE COAT ALL INT. WALLS AND CEILING WITH MEDIUM KNOCK DOWN FINISH. NO TEXTURE COAT IN GARAGE.

PRIME ALL INTERIOR WALLS.

FINAL PAINT COLOR/FINISH TO BE DETERMINED BY OWNER.

ROOF PITCH-<enter roof slope for the roof elements seen in the view>

ROOF FINISH- HANSON ROOF TILE, STYLE- EVEREST, COLOR-BROOKWOOD, MODEL WES-557 < you can use this if you have not selected a finish material for your roof or the material you applied to your model

ALL MUDSILL WD SHALL BE PRESSURE TREATED

TERMITE PROTECTIVE SHEET METAL FLASHING SHALL BE PLACED BETWEEN T-FOUNDATION & MUDSILLS; ALSO BETWEEN ALL PIER AND MUDSILLS

5-1/2" SIDE WALL INSULATION TO ALL EXT. & INT. WALLS

General Floor Plan Notes For Floor 1 and Floor 2

General Floor Plan Notes

NUMERICAL DIMENSIONS SHALL TAKE PRECEDENCE OVER SCALED DIMENSIONS

REFER TO STRUCTURAL, MECHANICAL, ELECTRICAL, PLUMBING, AND OTHER CATEGORIES OF DRAWINGS FOR ADDITIONAL NOTES.

SEE DRAWING A0.1 FOR TYPICAL GRAPHIC SYMBOLS.

THIS DRAWING IS THE COPYRIGHT OF <Enter your full First & Last name>

REFER TO THIS PLAN FOR DOOR AND WINDOW MARKERS.

ALL EXTERIOR WALLS TO BE 12" WIDE.

ALL WALLS ASSUME 90° UNLESS OTHERWISE NOTED.

FINAL FINISHES FOR FLOOR, TILE, COUNTERTOP, PAINT COLOR, TO BE DETERMINED BY OWNER PRIOR TO COMPLETION.



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No.	Description	Date

**PBELL** 

BELL HOME

TITLE PAGE

Project Number BELL

Date 12-7-25

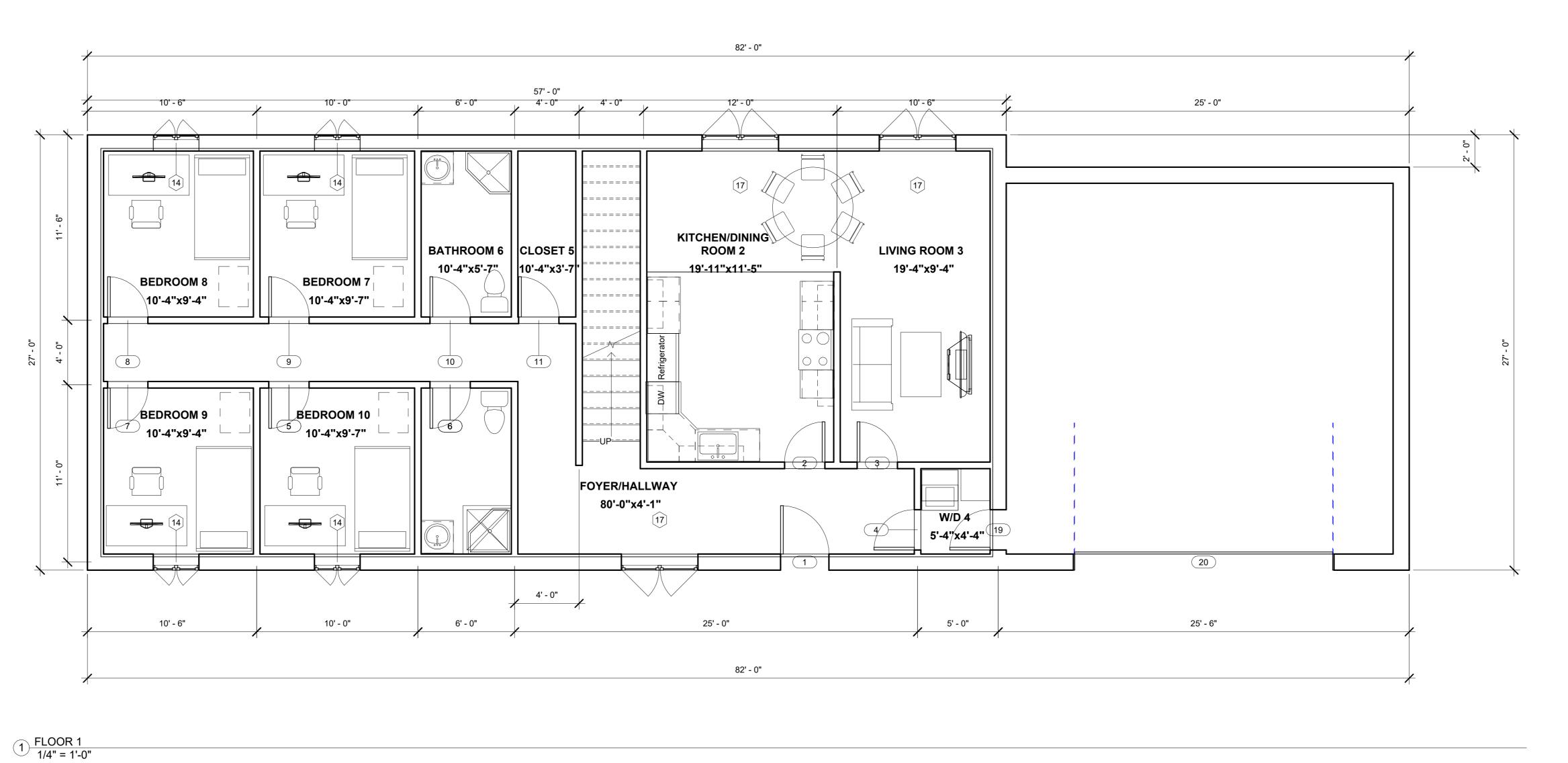
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Scale

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BELL HOME FLOOR 1 PLAN

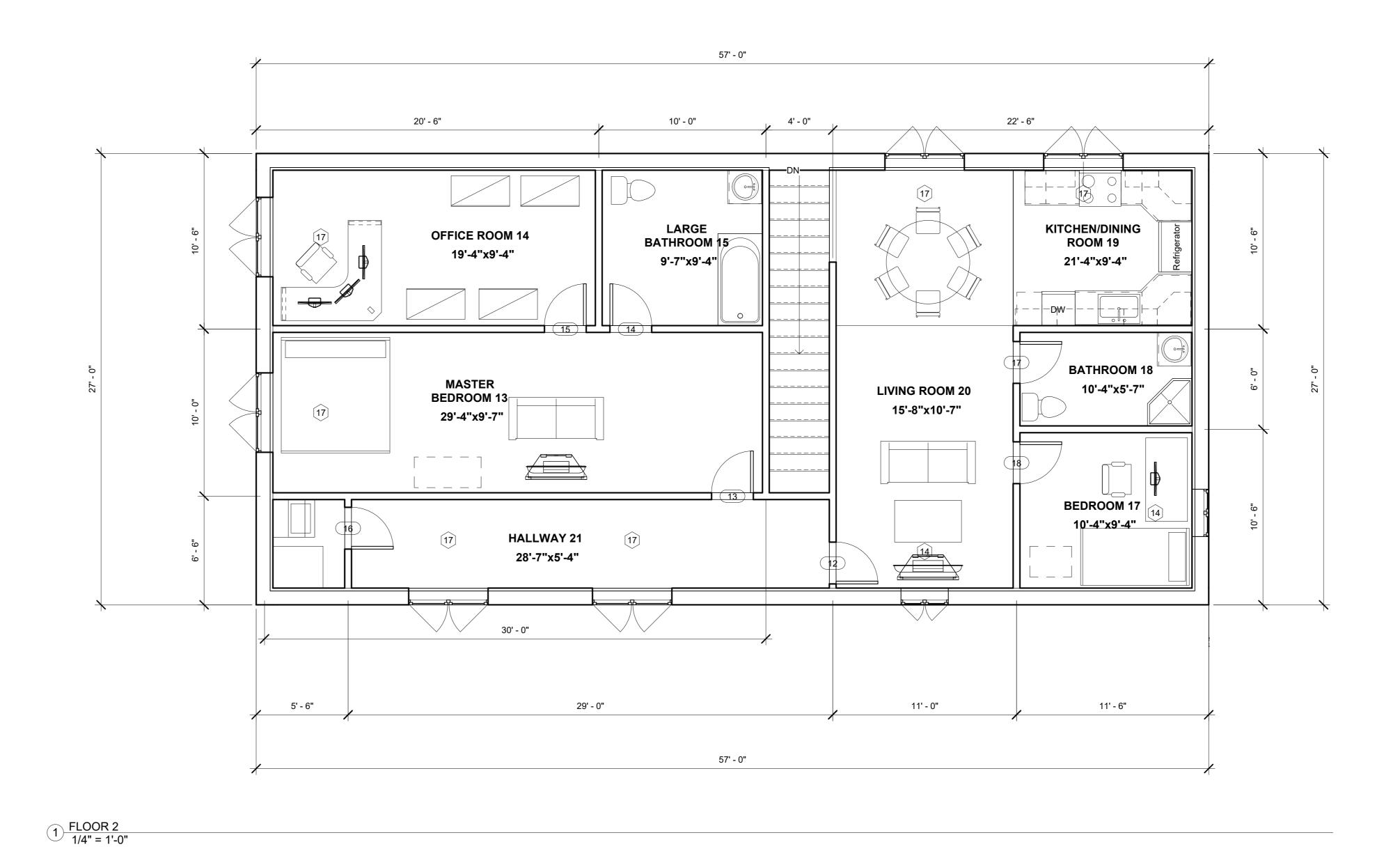
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BELL HOME FLOOR 2 PLAN

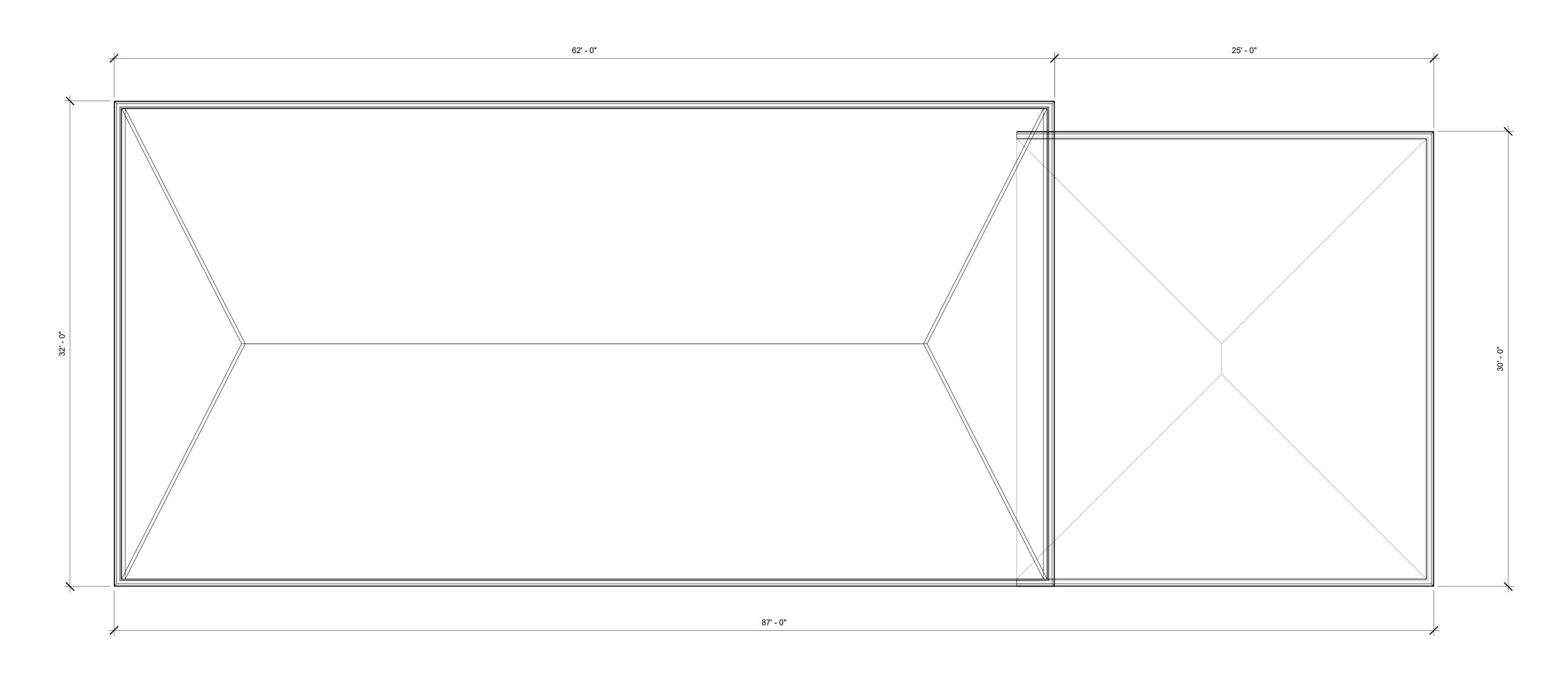
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Date 12-7-25

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A1.2



#### **GENERAL NOTES**

CONTRACTOR SHALL BE COMPLETELY RESPONSIBLE FOR FIELD VERIFYING ALL EXISTING CONDITIONS INCLUDING DIMENSIONS DETAILING, ROOF FURNITURE, AND LOCATIONS. CONFLICTS ARE TO BE BROUGHT TO THE ATTENTION OF THE ARCHITECT PRIOR TO START OF CONSTRUCTION.

ROOF SLOPES TO BE 4/12" MINIMUM INCLUDING VALLEYS.

ALL WORK SHALL BE IN ACCORDANCE W/ ACCEPTABLE ROOFING MANUFACTURER'S WRITTEN RECOMMENDATIONS.

DETAIL INDICATORS ARE TYPICAL FOR ALL SIMILAR LOCATIONS AND CONDITIONS.

THE CONTRACTOR SHALL EXTEND ALL CURBS, VENTS AND FLUES AS REQUIRED TO PROVIDE MINIMUM FLASHING HEIGHT OF 12" ABOVE MEMBRANE SURFACE OR AS NOTED IN SPECIFIC DETAIL.

THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE RESTORATION OF ALL AREAS DISTURBED AS A RESULT OF HIS WORK. THE CONTRACTOR SHALL PROPERLY REPAIR ALL LAWNS, WALKS AND DRIVES WHICH AS DISTURBED/DAMAGED AS A RESULT OF THEIR WORK.

THE CONTRACTOR SHALL PROVIDE ALL WOOD BLOCKING SHOWN OR AS REQ'D TO COMPLETE THE PROJECT.

THE CONTRACTOR SHALL PROVIDE ALL DIRECTIONAL CRICKETS REQ'D WITH THE MATERIAL AT TWICE THE SLOPE OF ROOF FIELD OR GREATER TO ENSURE POSITIVE DRAINAGE AT ALL EQUIPMENT LOCATIONS.

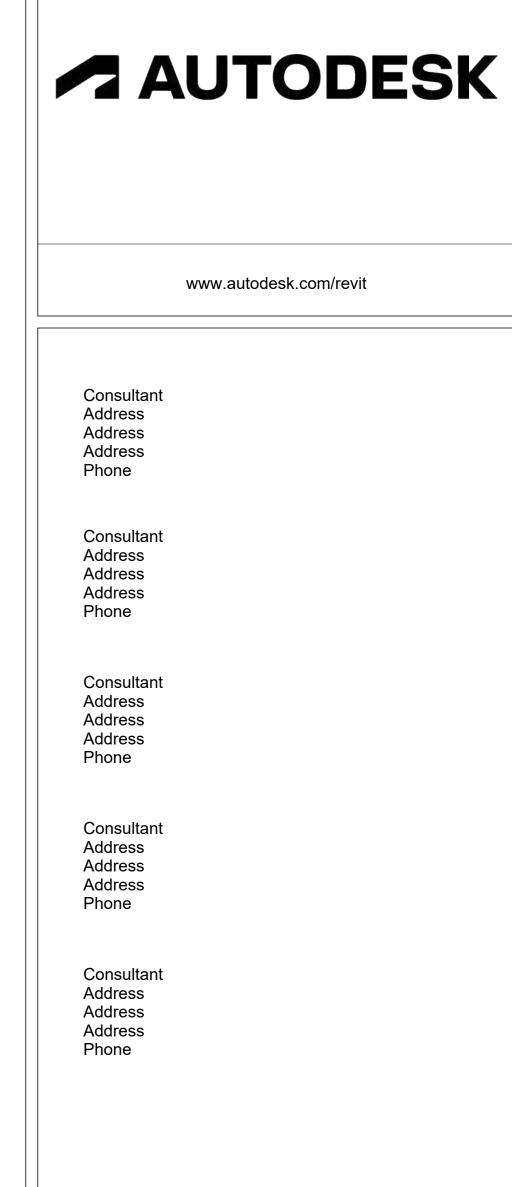
THE CONTRACTOR SHALL MAKE EVERY EFFORT TO AVOID LOCATING SCUPPERS OVER WINDOWS, DOORS, OR WALKWAYS.

THE CONTRACTOR SHALL LIMIT CONSTRUCTION LOADS TO 50psf.

ELECTRICAL EQUIPMENT; DISCONNECT ELECTRICAL CONNECTION TO EXISTING EQUIPMENT. BRANCH CIRCUIT IS EXISTING TO REMAIN, RECONNECT TO EXISTING EQUIPMENT. EXTEND WIRE & CONDUIT AS REQUIRED, MATCH EXISTING SIZE AND TYPE. ALL WORK TO BE PERFORMED IN ACCORDANCE WITH NE (NFPA 70)

SEE MECHANICAL/PLUMBING DRAWINGS FOR EXACT EQUIPMENT PLACEMENT. EQUIPMENT SHOWN IS FOR COORDINATION ONLY.

MECHANICAL AND PLUMBING TO PROVIDE ALL THEIR OWN CURBS UNLESS OTHERWISE NOTED.



No.	Description	Date

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BELL HOME
ROOF PLAN

Project Number
BELL
Date
12-7-25

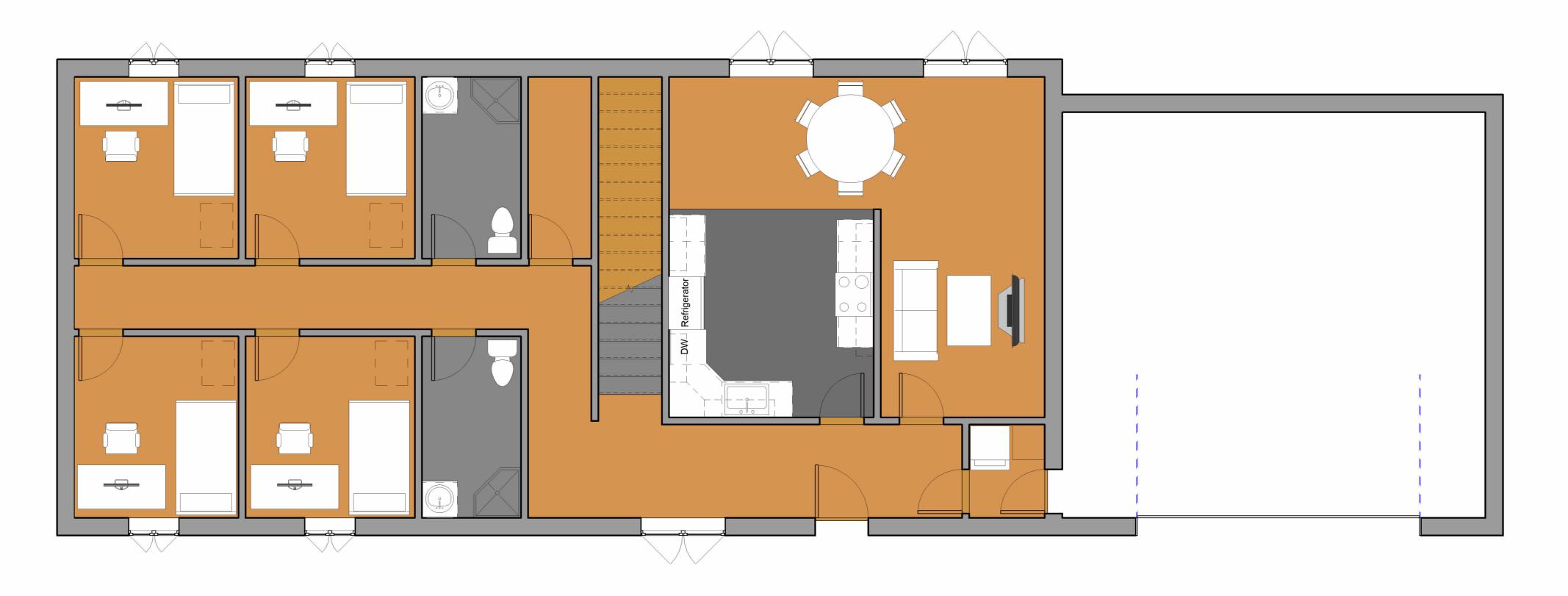
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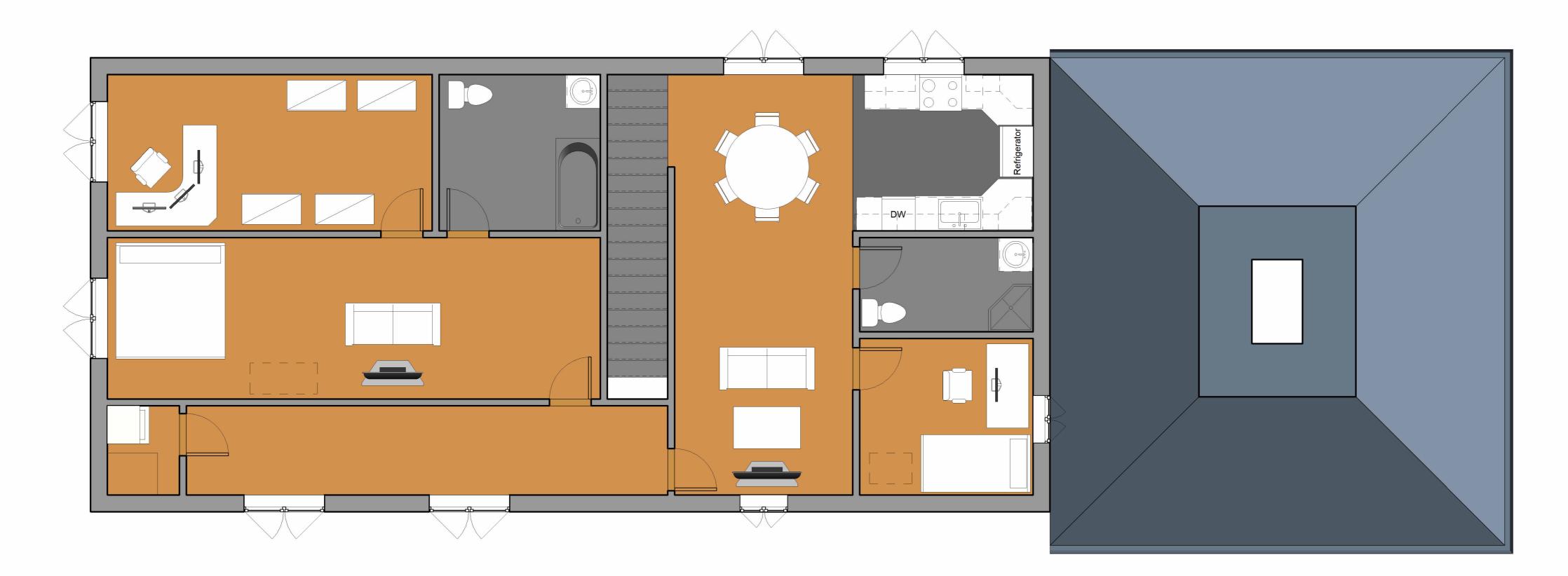
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1/4" = 1'-0"

PBELL



1) FLOOR 1 FURNITURE PLAN 1/4" = 1'-0"



2 FLOOR 2 FURNITURE PLA

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FLOOR 1 & 2 FURNITURE PLAN

Project Number BELL

Date 12-7-25

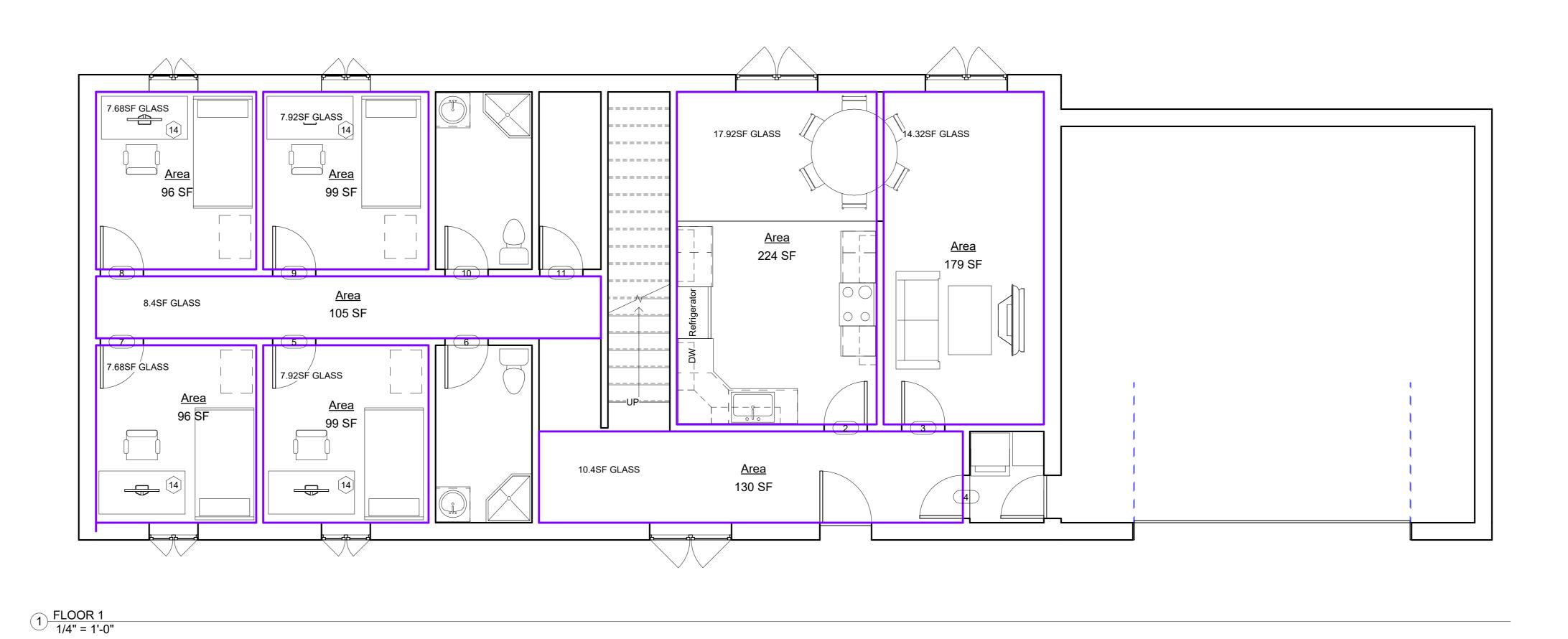
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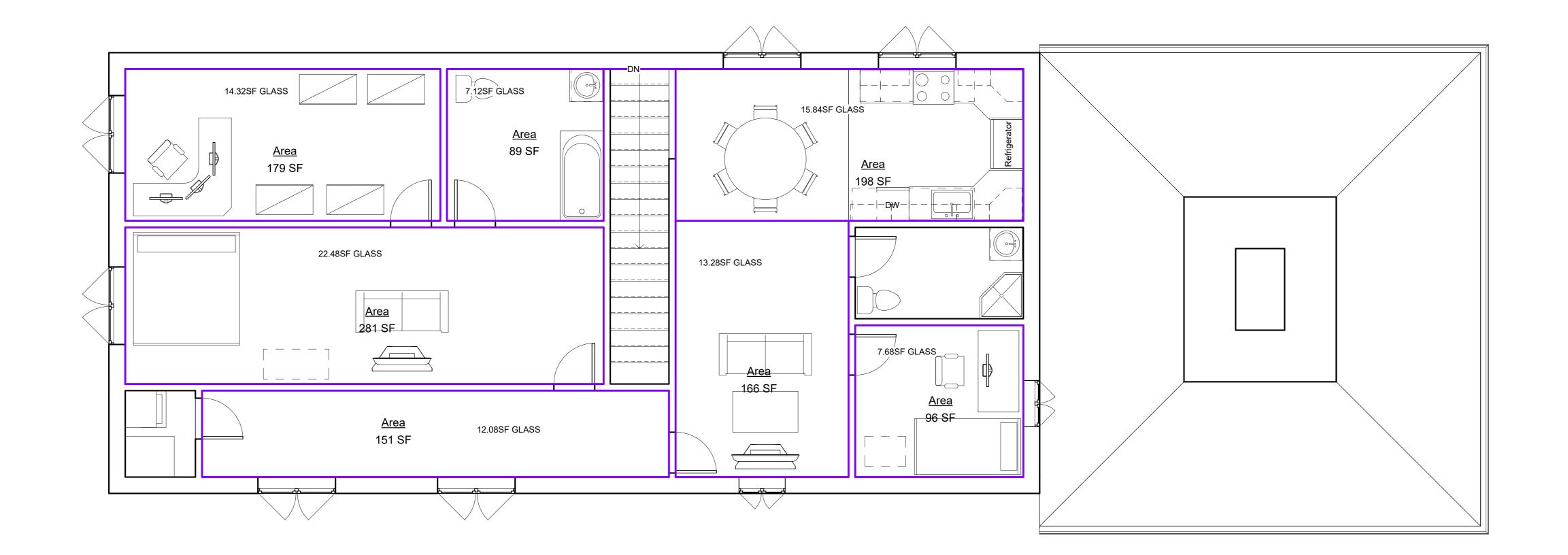
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1/4" = 1'

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FLOOR 1& 2 ROOM PLAN

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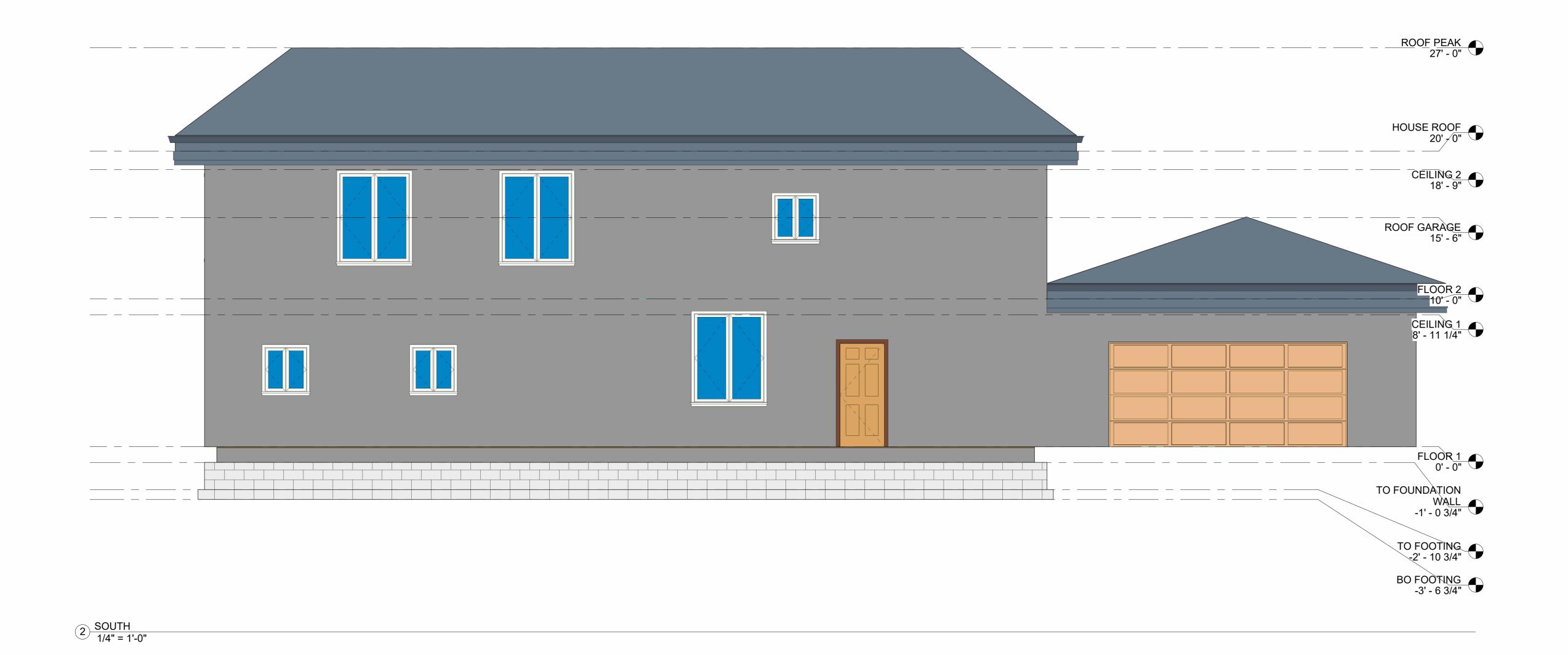
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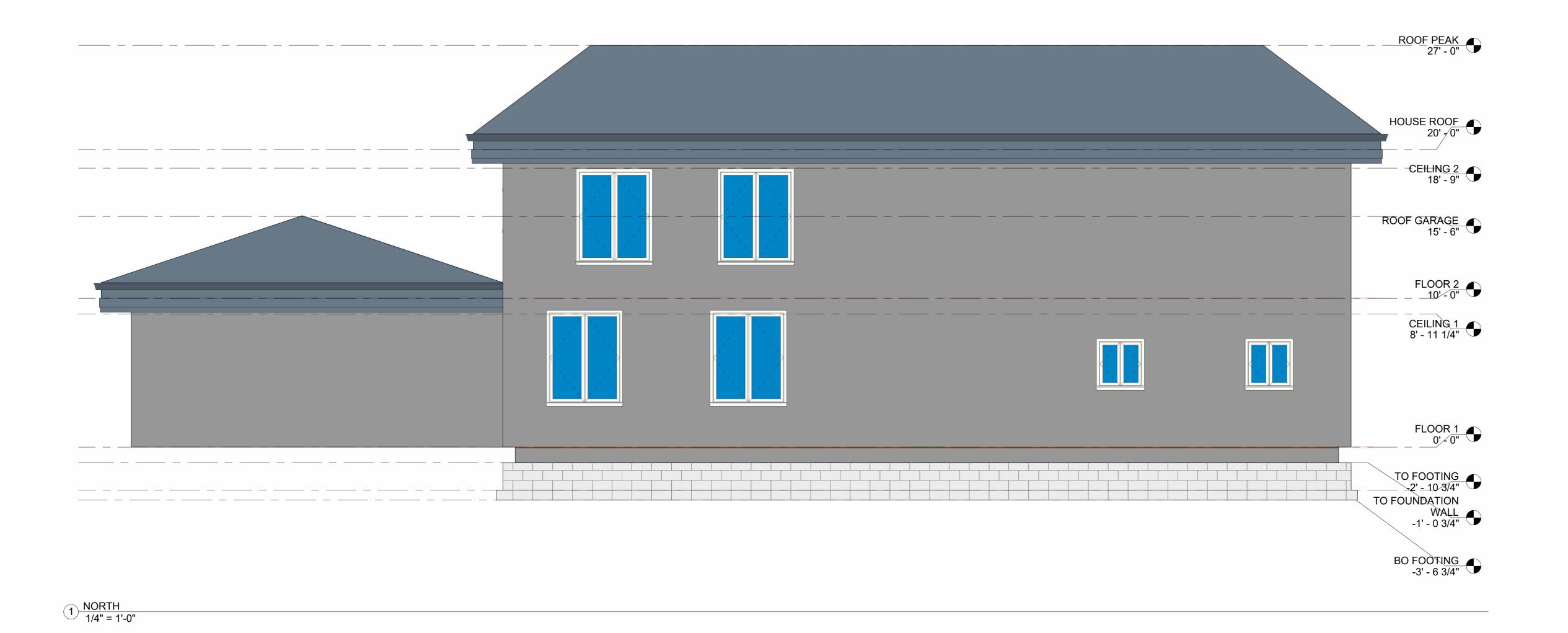
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BELL HOME

ELEVATION NORTH/SOUTH

Project Number BELL

Date 12-7-25

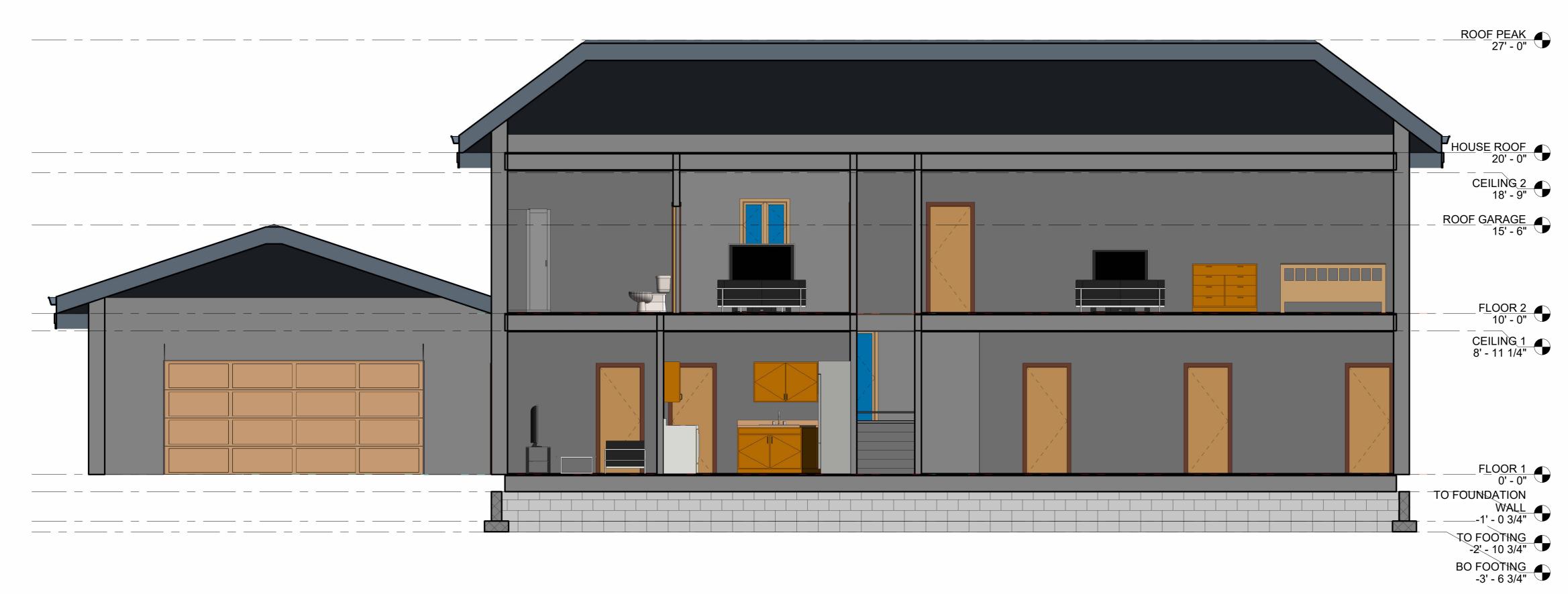
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1) NORTH SECTION VIEW



2 SOUTH SECTION VIEW 1/4" = 1'-0"

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BELL HOME

SECTION VIEW NORTH/SOUTH

Project Number BELL

Date 12-7-25

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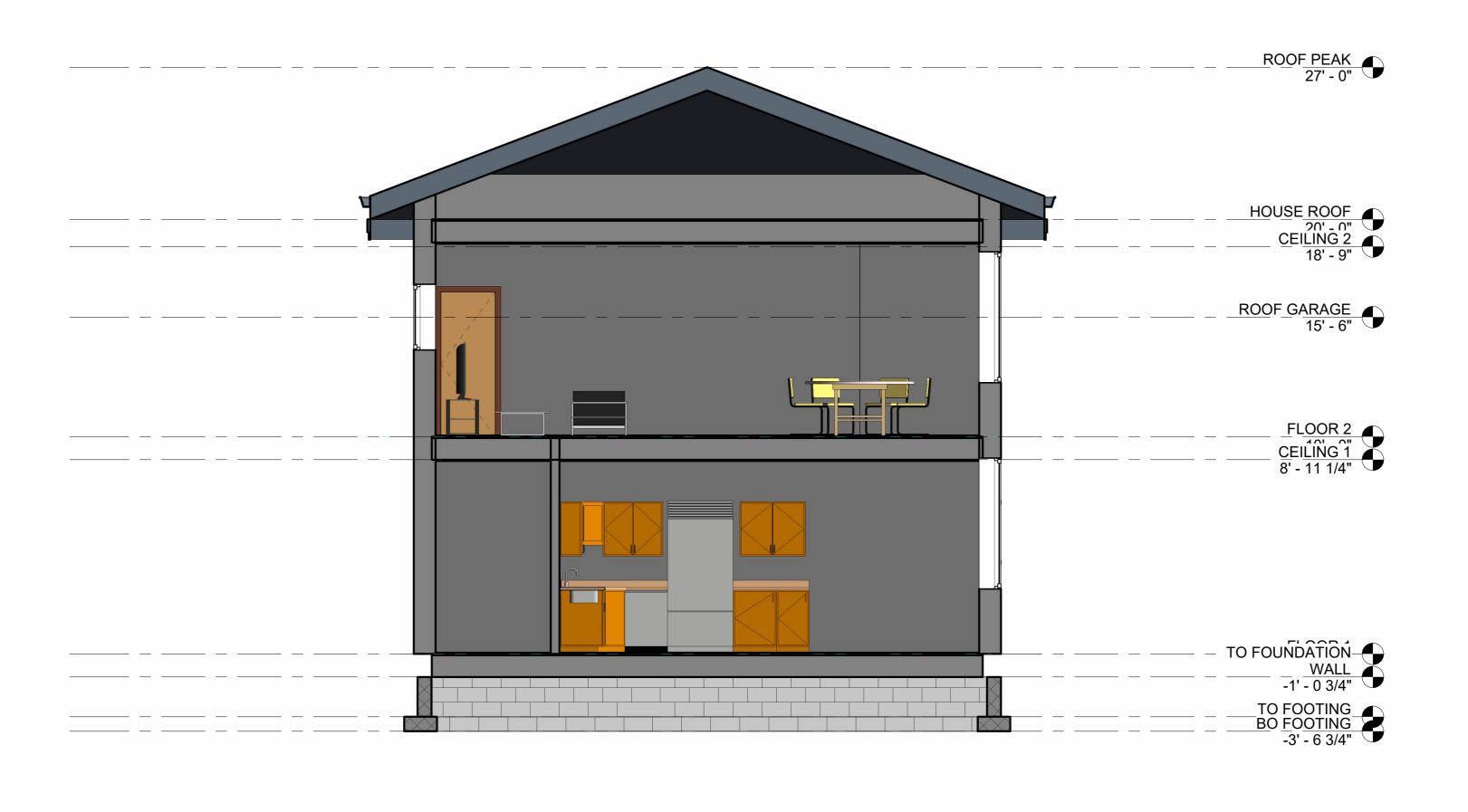
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A2.2

Scale

1/4" = 1





1 EAST SECTION VIEW 1/4" = 1'-0"

2 WEST VIEW 1/4" = 1'-0"

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BELL HOME
SECTION VIEW
EAST/WEST

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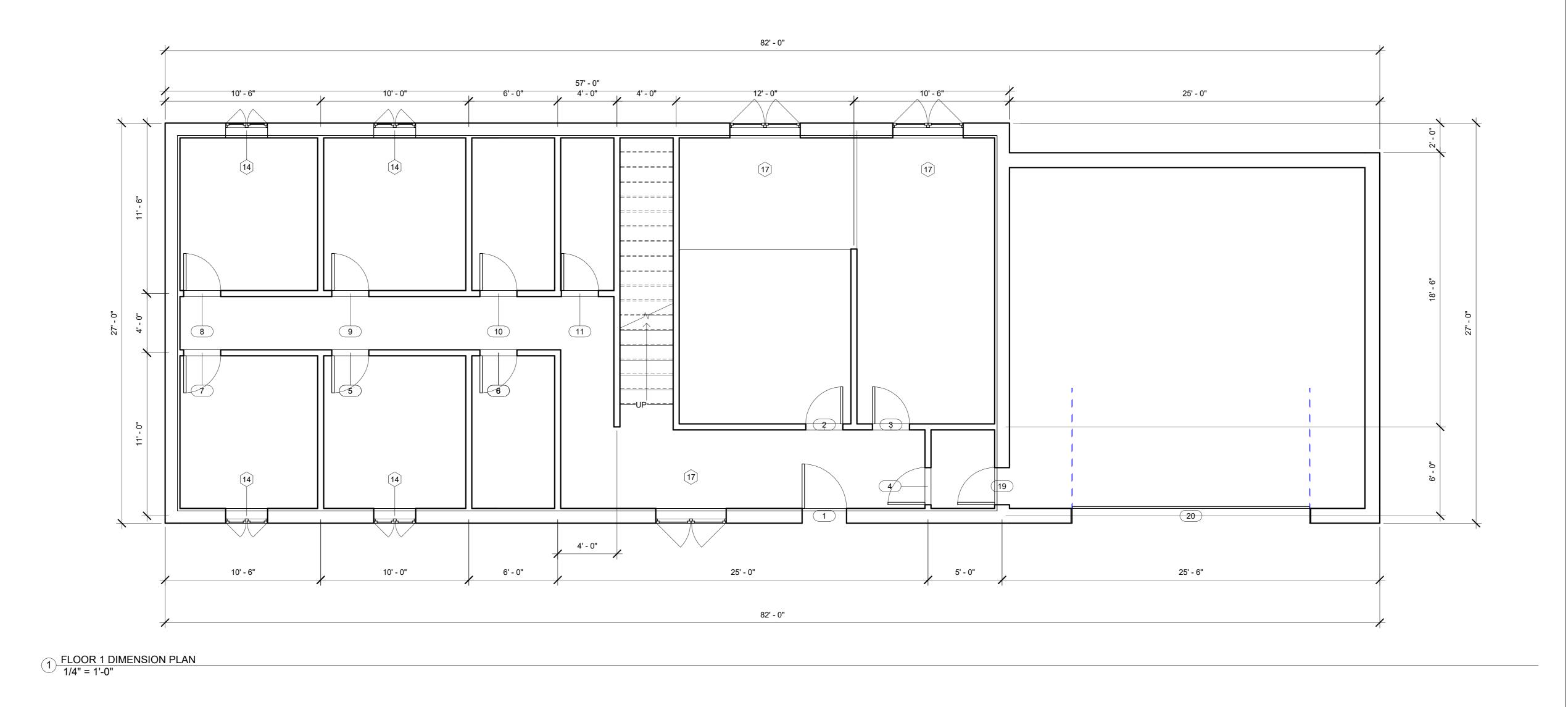
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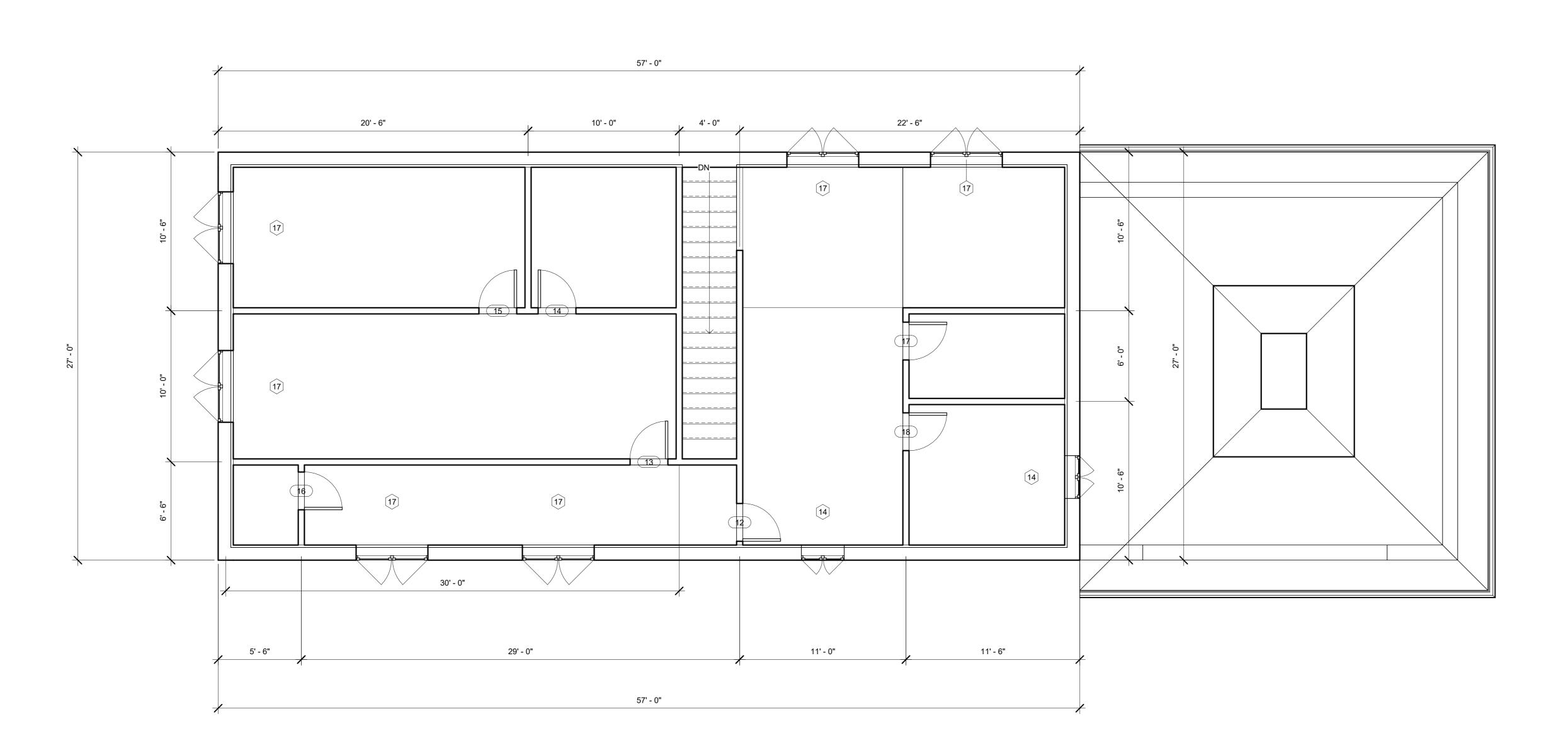
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Scale





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BELL HOME DETAILS

Project Number BELL

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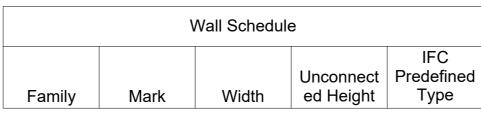
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A4.1

Scale

1/4" =

2 FLOOR 2 DIMENSION PLAN 1/4" = 1'-0"



Basic Wall	1' - 0"	20' - 0"	
Basic Wall	1' - 0"	20' - 0"	
Basic Wall	1' - 0"	20' - 0"	
Basic Wall	1' - 0"	20' - 0"	
Basic Wall	1' - 0"	10' - 0"	
Basic Wall	1' - 0"	10 - 0"	
Basic Wall	1' - 0"	10 - 0"	
Basic Wall	0' - 4 7/8"	10' - 0"	
Basic Wall	0' - 4 7/8"	10' - 0"	
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Basic Wall	0' - 4 7/8"	10' - 0"	
Basic Wall	0' - 4 7/8"	10' - 0"	
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Basic Wall	0' - 4 7/8"	10' - 0"	
Basic Wall	0' - 7 5/8"	1' - 10"	
Basic Wall	0' - 7 5/8"	1' - 10"	
Basic Wall	0' - 7 5/8"	1' - 10"	
Basic Wall	1' - 6"	0' - 8"	
Basic Wall	1' - 6"	0' - 8"	
Basic Wall	1' - 6"	0' - 8"	
Basic Wall	1' - 6"	0' - 8"	
Basic Wall	0' - 7 5/8"	1' - 10"	

Mark	Family	Width	Height	Thickn
Mark	ranny	Widti	Tioigitt	THORI
1	Single-Pan el 4	3' - 0"	7' - 0"	0' - 2"
2	Single-Flus h	2' - 6"	6' - 8"	0' - 2"
3	Single-Flus h	2' - 6"	6' - 8"	0' - 2"
4	Single-Flus h	2' - 6"	6' - 8"	0' - 2"
5	Single-Flus h		6' - 8"	0' - 2"
6	Single-Flus h		6' - 8"	0' - 2"
7	Single-Flus h		6' - 8"	0' - 2"
8	Single-Flus h		6' - 8"	0' - 2"
9	Single-Flus h		6' - 8"	0' - 2"
10	Single-Flus h		6' - 8"	0' - 2"
11	Single-Flus h		6' - 8"	0' - 2"
12	Single-Flus h		6' - 8"	0' - 2"
13	Single-Flus h		6' - 8"	0' - 2"
14	Single-Flus h		6' - 8"	0' - 2"
15	Single-Flus h		6' - 8"	0' - 2"
16	Single-Flus h		6' - 8"	0' - 2"
17	Single-Flus h		6' - 8"	0' - 2"
18	Single-Flus h		6' - 8"	0' - 2"
19	Single-Flus h	2' - 6"	6' - 8"	0' - 2"
20	Door-Garag e-Embosse d Panel	16' - 0"	7' - 0"	0' - 1 1/2

Window Schedule

Family and
Family Type Width

Window-Ca sement-Do uble Window-Ca sement-Do uble: 57" x 72"

Window-Ca Window-Ca 4' - 9" sement-Do uble: 57" x

Window-Ca sement-Do uble Window-Ca sement-Do uble: 57" x 72"

Window-Ca Window-Ca 4' - 9" sement-Do uble uble: 57" x

Window-Ca Window-Ca 2' - 10" sement-Do uble: 34" x 36"

Window-Ca sement-Do uble Window-Ca sement-Do uble: 34" x 36"

Window-Ca sement-Do uble: 34" x

Window-Ca sement-Do uble: 34" x

Window-Ca Window-Ca 2' - 10" sement-Do uble: 34" x

Window-Ca Window-Ca 2' - 10" sement-Do uble: 34" x 36"

Window-Ca sement-Do uble Window-Ca sement-Do uble: 57" x 72"

Window-Ca Window-Ca 4' - 9"

sement-Do uble: 57" x 72"

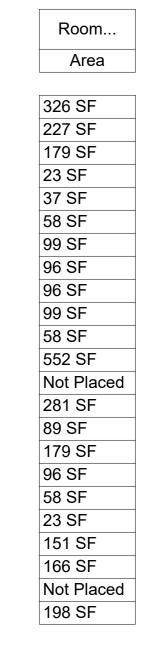
Window-Ca Window-Ca 4' - 9'

Window-Ca sement-Do uble Window-Ca sement-Do uble: 57" x 72"

Window-Ca sement-Do uble Sement-Do uble: 57" x 72"

Window-Ca Sement-Do uble S7" x 72"

Floor Schedule				
		Default		
Mark	Family	Thickness		
	Floor	0' - 0 3/4"		
	Floor	1' - 0"		
	Floor	0' - 0 5/8"		
	Floor	0' - 0 5/8"		
	Floor	0' - 0 3/4"		
	Floor	1' - 0"		
	Floor	0' - 0 5/8"		
	Floor	0' - 0 5/8"		
	Floor	0' - 0 5/8"		
	Floor	0' - 0 5/8"		
	Floor	0' - 0 3/4"		
	Floor	1' - 0"		





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BELL HOME SCHEDULES

Project Number BELL

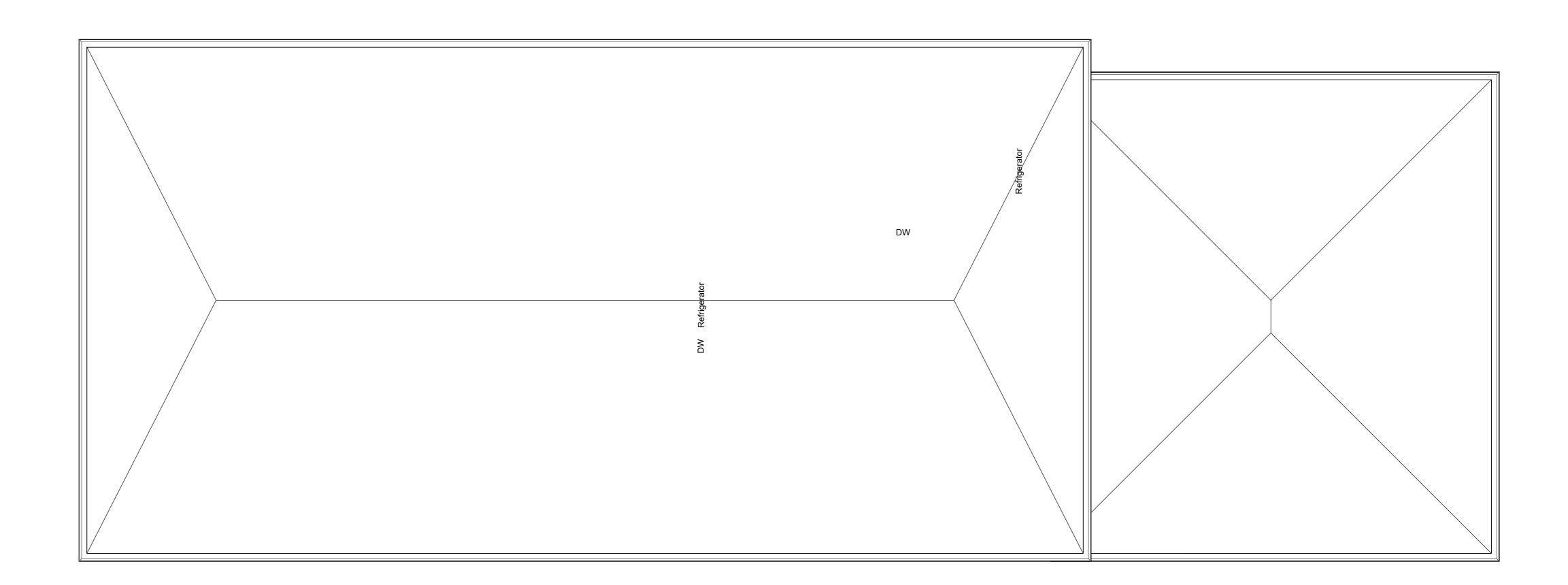
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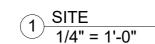
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A5.1

Scale





#### **GENERAL NOTES.**

ALL RETAINING/DETAINING WALLS, TURN-DOWN CURBS, TREE RETAINING WALLS SHALL BE CLAD IN A MATERIAL TO MATCH THE MATERIALS ON THE MAIN BUILDING.

ALL GROUND BASED HVAC SHALL BE SCREENED WITH LIVE SCREENING OR MASONRY ENCLOSURE. MASONRY ENCLOSURE SHALL BE CLAD IN THE SAME MATERIAL AS THE MAIN BUILDING.

ALL ROOF-MOUNTED MECHANICAL UNITS AND/OR EQUIPMENT SHALL BE SCREENED FROM VIEW.



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BELL HOME

SITE PLAN

Project Number BELL

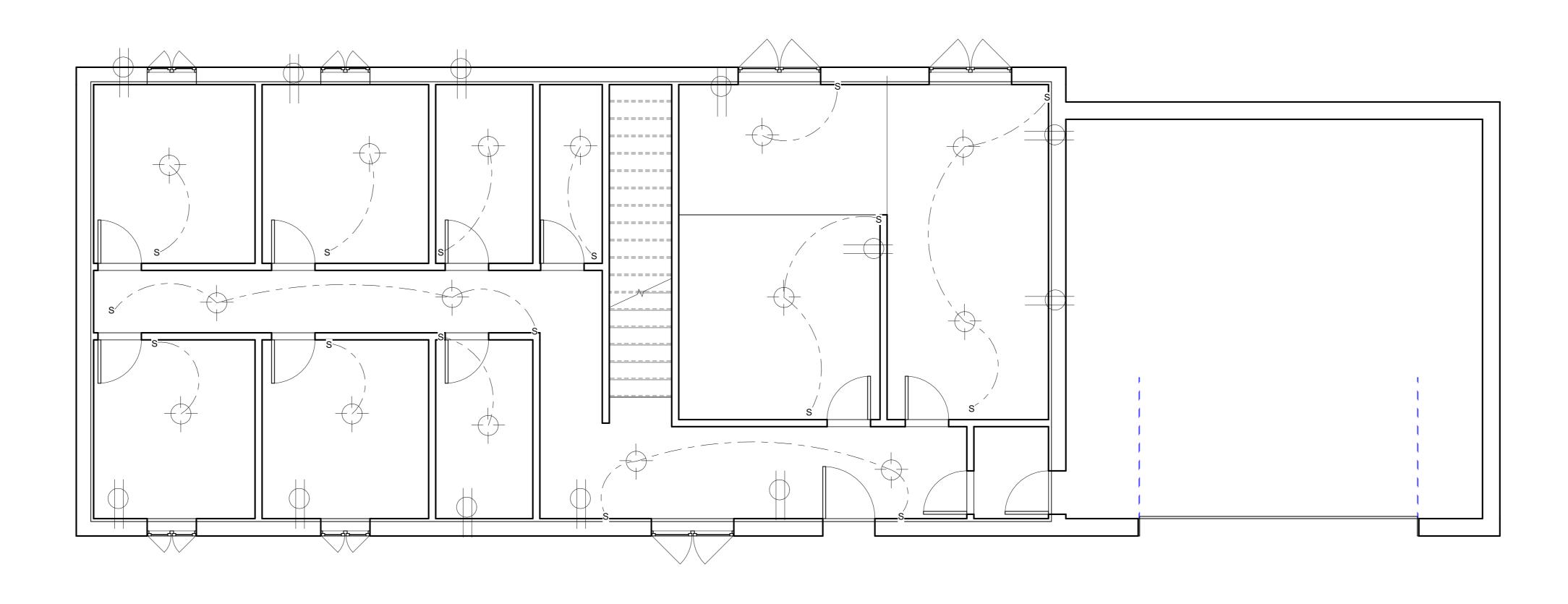
Date 12-7-25

Drawn By PBELL

Checked By CJOURGENSEN

C1.0

Scale



1 FLOOR 1 ELETRICAL PLAN 1/4" = 1'-0"

#### **AUTODESK**

www.autodesk.com/revit

Consultant Address Address Address Phone

Consultant Address Address Address Phone

> Consultant Address Address Address

Phone

Consultant Address Address Address Phone

Consultant Address Address Address Phone

No.	Description	Date

**PBELL** 

BELL HOME

FLOOR 1 ELECTRICAL

Project Number

BELL

Date

12-7-25

Drawn By

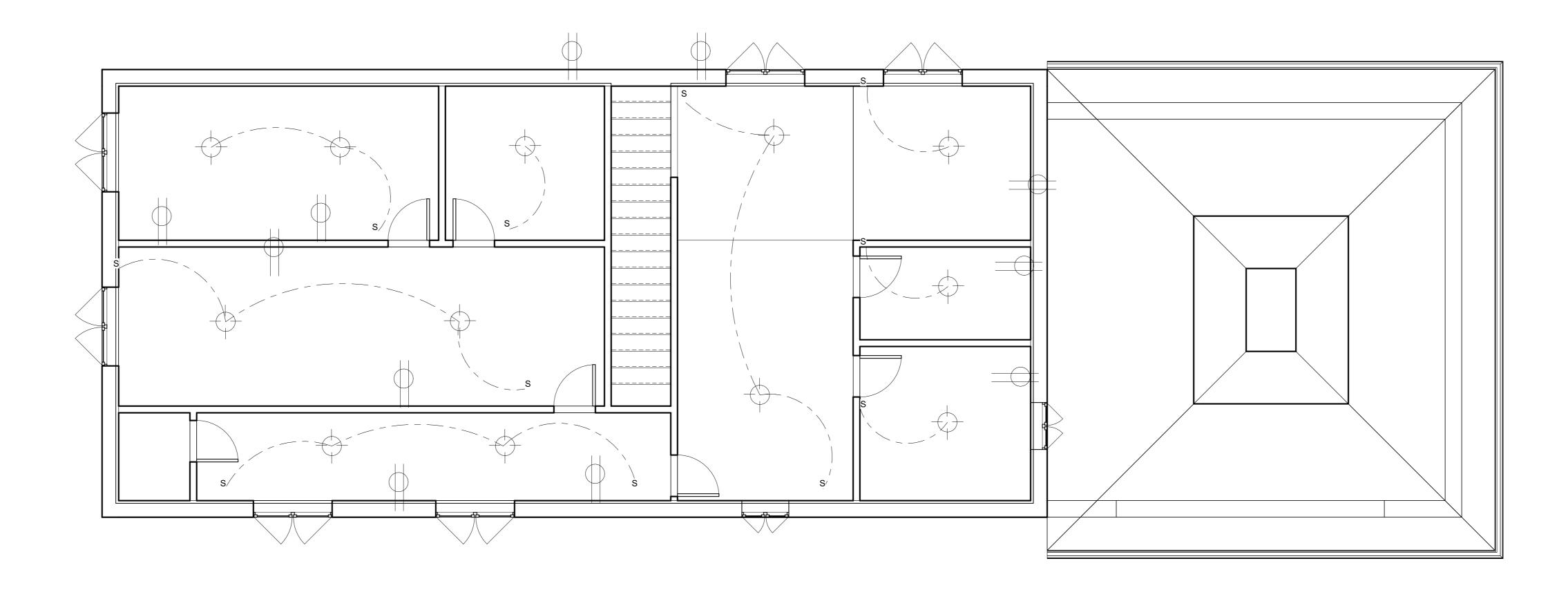
PBELL

Checked By

CJOURGENSEN

E1.1

1//" -



1 FLOOR 2 ELETRICAL PLAN 1/4" = 1'-0"

### **AUTODESK**

www.autodesk.com/revit

Consultan Address Address Address Phone

> Consultant Address Address Address Phone

Consultant Address Address Address Phone

Consultant Address Address Address

Consultant Address Address Address Phone

No.	Description	Date

PBELL

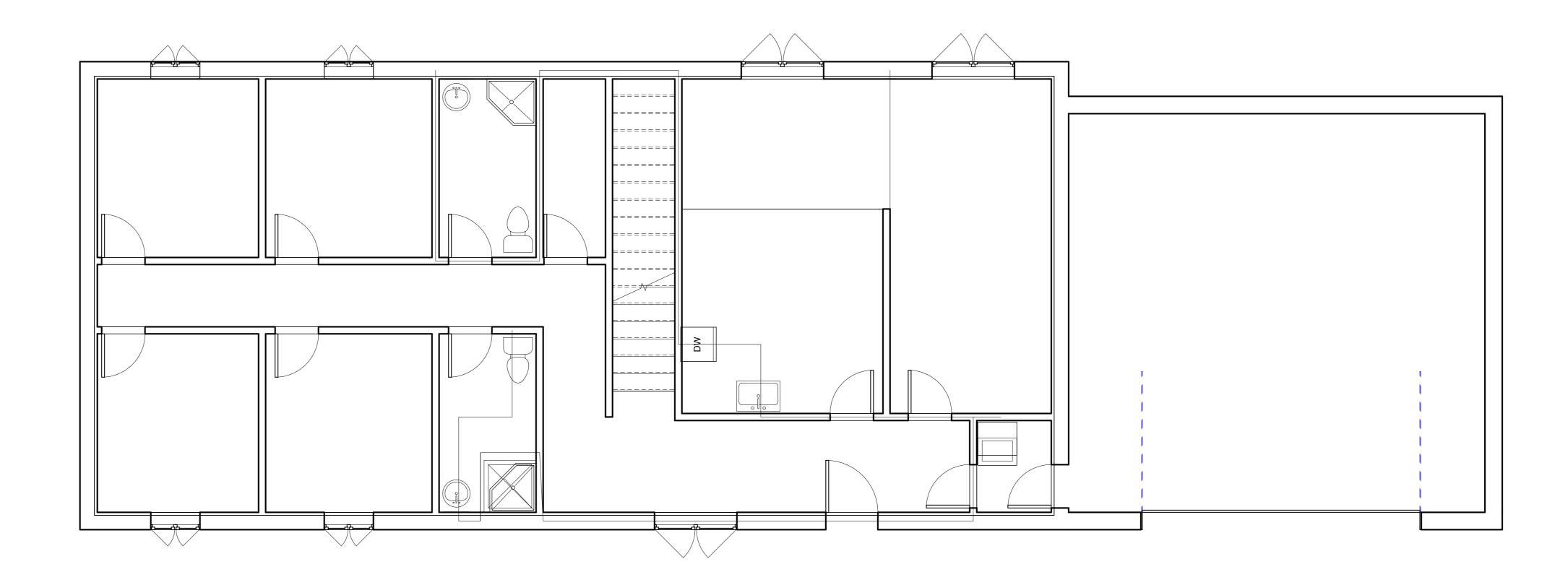
**BELL HOME** 

FLOOR 2 ELECTRICAL PLAN

Date
Drawn By

BELL
12-7-25
PBELL
By
CJOURGENSEN

E1.2



1/4" = 1'-0"

#### **AUTODESK**

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Consultant Address Address Address Phone

Consultant Address Address Address Phone

> Consultant Address Address Address

Phone

Consultant Address Address Address

Phone

Consultant Address Address Address Phone

No.	Description	Date

**PBELL** 

BELL HOME

FLOOR 1 PLUMBING PLAN

Project Number BELL

Date 12-7-25

Drawn By PBELL

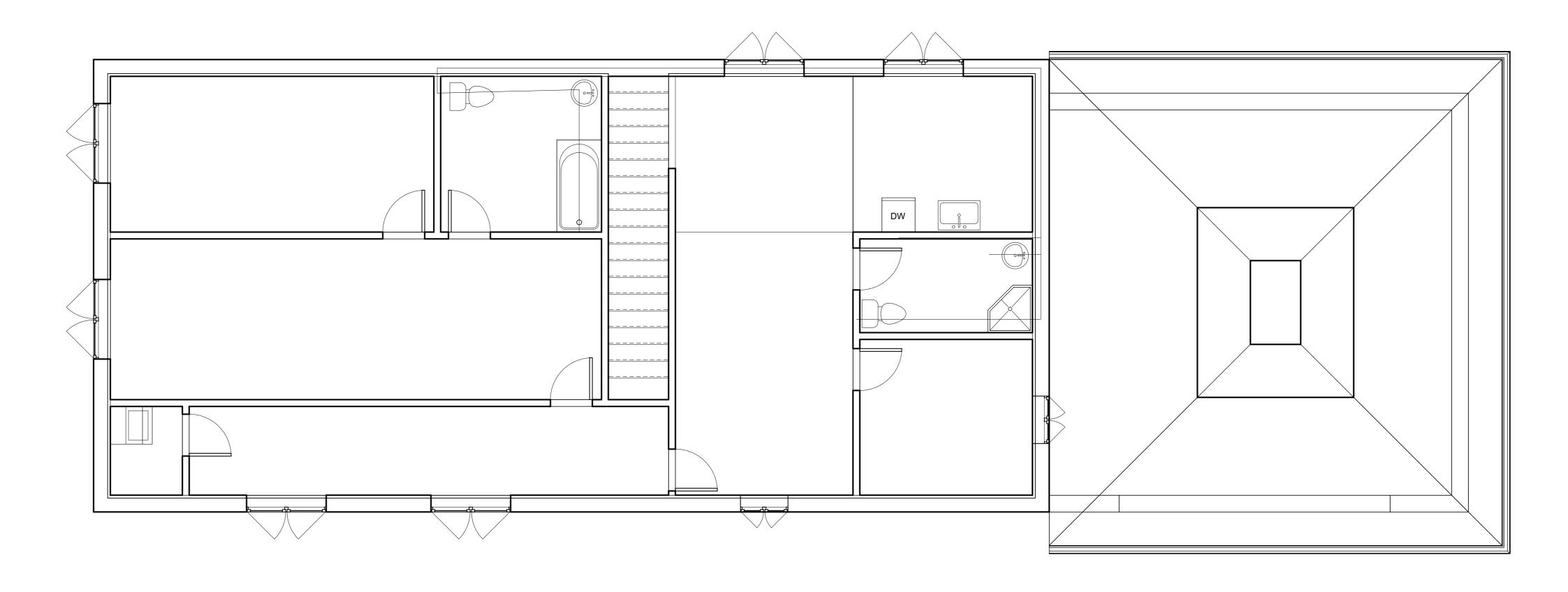
Checked By CJOURGENSEN

P1.1

Scale

1/4" = 1'-

7 7 12/8/2025 3:27:33 PM



1 FLOOR 2 PLUMBING PLAN 1/4" = 1'-0"

#### **AUTODESK**

www.autodesk.com/revit

Consultar Address Address Address

Consultant Address Address Address Phone

Consultant Address Address Address

Consultant Address Address Address

Phone

Consultant Address Address Address Phone

No.	Description	Date

PBELL

BELL HOME

FLOOR 2 PLUMBING PLAN

Project Number BELL

Date 12-7-25

Drawn By PBELL

Checked By CJOURGENSEN

Scale

P1.2

1/4" - 1